

General Notes:

001000 GENERAL REQUIREMENTS

- All specified products shall be installed in accordance with manufacturers written instructions.
- If product specifications change or substitutions are made the associated details may change as well.
- Plans and calculations for bidder design / build mechanical, fire-protection and electrical systems shall be submitted to local authorities having jurisdiction for separate review, approval and permits as deferred submittals. They shall be prepared and submitted in a timely manner to allow adequate time for review and approval.
- There shall be no deviations whatsoever from the contract documents without the architect's written approval. Thereof, the contractor agrees to defend, indemnify, and hold the architect harmless from any claims arising as a result of unapproved changes.
- Where devices or items or parts thereof are referred to in singular, it is intended that such shall apply to as many such devices, items or parts as are required to properly complete the work.

001010 DIMENSIONAL

- Contractor is to verify all existing conditions, dimensions, details, etc. and notify the architect of any and all discrepancies prior to proceeding with the work.
- Existing elevations and locations to be joined shall be verified by the contractor before construction staking. If they differ from those shown on the drawings, the contractor shall notify the architect so that modifications can be made before proceeding with the work.
- Do not scale drawings, electronic or otherwise, dimensions govern, the contractor shall notify architect immediately of any and all discrepancies.
- All dimensions are to centerline of column, face of stud or face of existing finish unless otherwise noted.
- All elevations refer to finish floor datum.

001020 DRAWING INTERPRETATION

- All items marked "N.I.C." or "By Others" are not in contract.
- Repetitive features not noted on drawings shall be completely provided as if drawn in full.
- Where construction details are not shown or noted for any part of the work, the details shall be the same as for other similar work. If questions cannot be resolved in this manner, contact the architect prior to proceeding with the work.
- Contractor shall verify all "Building Standards" with building owner prior to beginning any work unless otherwise noted. However, there shall be no deviations whatsoever from the contract documents without the architect's written approval.

001030 AS-BUILTS & RECORD DRAWINGS

- Approved plans shall be kept in a plan box and shall not be used by any workman. All construction sets shall reflect the same information as well as revisions, addenda, and change orders, on the premises at all times which are to be under the care of the job superintendent.
- Provide reproducible as-built record plans documenting design modifications. Include bidder-designed system drawings. Submit plans to architect and owner for review. Contractor to submit a final reproducible set to both owner and architect.

001040 CODES AND PERMITS

- All construction shall comply with the NFPA codes as adopted by State of Maine and/or local jurisdiction, and all applicable local codes, ordinances & standards.
- Contractor shall secure and provide all permits for occupancy, utilities and any others required by governing authorities beyond the basic building permits, making timely applications and inquiries, paying all fees and posting all bonds to be released at the completion of construction.
- Mechanical and electrical systems shall be bidder design / build. The contractor shall be responsible for obtaining the corresponding permits for all such work to include payment of all fees and charges.
- Owner shall provide building permits to the contractor prior to the commencement of work.
- Contractor shall secure relevant city and state approvals relating to fire, construction, labor, health, and licensing. Contractor shall further post all bonds and secure all insurance required by law or contract, forwarding proof of such actions to the owner prior to commencement of construction.
- Provide for special inspection of architectural components, if required.

001050 EXITING

- Exit doors shall swing in the direction of exit travel when serving any hazardous area or when serving an occupant load of 50 or more. The force required to open a side swinging exit door shall not exceed 30 pounds applied at the latch side except that at exit doors.
- Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort.
- All thresholds shall have a maximum height change of 1/2" along the route of travel.

001060 FIRE PROTECTION

- Provide exit signs and illumination conforming to the NFPA, and local fire marshal and building official requirements. Confirm acceptability of locations with fire marshal before installation. Exit signs shall be located in compliance with NFPA 101. Using block letters 6 inches high with a stroke of not less than 3/4" and illuminated per NFPA 101 7.10. Exit sign illumination to be on separate branch circuit, with exit sign and illumination on separate sources of power. Provide exit illumination levels per NFPA 101
- Provide a bidder designed smoke detection system.
- Provide portable fire extinguishers, each having a minimum U.L. classification of 2A - 10BC. Extinguishers shall be distributed throughout premises such that the maximum travel distance to an extinguisher is 75' and a maximum area of 3,000 sq. ft. All extinguishers shall be hung in conspicuous locations so that their tops are no more than 48" A.F.F. Where extinguishers are not visible in all directions, provide approved indicating signs. Confirm acceptability of extinguishers types and locations with both fire marshal and owner's representative prior to installation. Provide finished cabinets for extinguishers at all exposed locations.
- Flammable liquids shall not be placed, stored, or dispensed in this occupancy except as provided in N.F.P.A standard 30 and the current Uniform Fire Code. Obtain local authorities having jurisdiction approval.
- Maintain all exit pathways during construction.

001070 FIRE RESISTIVE

- Provide fire blocking and / or safing at concealed spaces.
- All through penetration fire stop systems for mechanical and electrical systems which are not part of these drawings are to be treated as a deferred submittal. The proposed through penetration systems must be submitted for review and approval by the local authorities having jurisdiction. All proposed systems must bear a U.L. testing number and include a copy of the U.L. assembly test data. See IBC Sec. 106.3.4.2 for requirements relating to deferred submittals.
- All insulation left exposed shall be labeled with flame spread and smoke-developed index to meet NFPA 101 and State Fire Marshal requirements. Exposed foamed plastic insulation to have thermal barrier per State Fire Marshal requirements.

001080 ENVIRONMENTAL

- All operations conducted on the premises shall not be objectionable beyond the property boundary lines by reason of noise, steam, odor, fumes, gases, smoke, vibration, hazard or other causes.
- Contractor shall be responsible for required safety precautions; means and methods, techniques, sequences and procedures required to execute the work.
- The contractor shall ensure that this project, and all construction activities related thereto, conforms to all local, regional, state and/or federal regulations pertaining to disturbing, displacing, and/or removal of asbestos containing materials. Note specifically, that the contractor shall conform to the requirements of State and Federal requirements regarding inspection, certification, and notification.
- Do not store hazardous materials in excess of quantities listed in IBC 307.
- The contractor will verify and conform to all requirements of all utility companies unless otherwise noted in the plans and specifications.
- All debris shall be removed from premises and all areas shall be left in a clean (broom) condition at all times.
- The contractor shall take all necessary precautions to ensure the safety of the occupants and workers at all times.
- The contractor shall be responsible for the complete security of the buildings and site while the job is in progress and until the job is completed.
- All work shall be guaranteed for a period of one (1) year after completion (minimum), unless otherwise specified, and shall be so stated in contractor's written proposal and agreement. All repairs, corrections, discrepancies, etc., must be made without any additional cost to the owner, and within five (5) days after notice is given.
- All deferred submittals shall be submitted to the Town and/or state (as applicable) in a timely manner and a required and noted on the permit.
- If required, construction barricades shall be provided by the contractor, as required by the local authorities having jurisdiction. The contractor shall provide temporary water, telephone, power, and toilet facilities.

002000 SITEWORK

- Contractor shall request verification from utilities companies of underground utility locations prior to beginning excavations.
- All down spouts, footing, and foundation drains shall be connected to the storm drainage system. Down spouts shall be tight-lined separate from foundation drains.
- Should any unusual conditions become apparent during grading, trenching, foundation work, etc. Contact owner for instructions prior to continuation of work.
- Any geotechnical reports for the project provided by the owner shall be part of the construction and contract documents.
- Slope all walkways, driveways, and grade away from buildings at 2% maximum.

003000 CONCRETE

- Chamfer external corners on exposed concrete columns, pilasters, beams and walls except where flush walls abut and where surfaces are to be otherwise finished.

005000 METALS

- All sheet metal fasteners to be of the same material as sheet metal used for flashing. Where connection of dissimilar materials occurs, provide adequate protection to prevent deterioration. The protection shall include, but not be limited to a separation coat of bituminous paint between all dissimilar metals.
- All exterior exposed steel shall be hot-dipped galvanized after fabrication. Field touchup any damage.

006000 WOODS AND PLASTICS

- Provide blocking and backing in all walls to support cabinetry, shelving, bathroom fixtures, display rails and other improvements as required.
- All wood in contact with concrete or masonry shall be pressure treated.

007000 THERMAL AND MOISTURE PROTECTION

- All openings in the building envelope such as at exterior joints around windows and door frame, openings between walls and foundations, between walls and roof and between wall panels, openings at penetrations of utility services through walls, floors, and doors shall be sealed, caulked, gasketed, or weatherstripped to limit air leakage and eliminate water penetration.
- Verify compatibility of all membranes and sealants with their substrate and conduct pull tests before and during the course of construction.
- Provide roof covering complying with section 1507, 2021 IBC. Roofing to be installed in accordance with manufacturers' specifications.

008000 DOORS AND WINDOWS

- The contractor shall verify all door and window rough opening dimensions with door and window manufacturers.
- Provide submittal documentation that windows and doors meet design loads calculated according to applicable building code requirements for "Components and cladding loads at areas of discontinuity."
- All glass and glazing shall comply with Chapter 24 of the 2021 IBC and the U.S. Product Safety Commission: Safety Standard for Architectural Glazing Materials (42 FR 1426; 16 CFR part 1207). In addition, all glazing shall be certified and labeled with its U-factor and solar heat gain coefficient by an independent agency licensed by the N.F.R.C.
- Glazing in locations subject to impact such as glazing in doors; glazing within 24" of door opening, glazing located less than 18" to a floor, glazing in railing systems; shall be tempered or laminated safety glass or shatter resistant plastic per Chapter 24.

009000 FINISHES

- All wall and partition lathing, plaster, and gypsum wall board system shall conform to Chapter 25 of the 2021 IBC.
- All exposed gypsum board to have metal edges at all corners and wall intersections.
- All drapes, hangings, curtains, drops, and all other decorative material, including Christmas trees that would tend to increase the fire and panic hazard shall be made from nonflammable material, or shall be treated and maintained in a fire retardant condition by means of a flame retardant solution or process approved by the fire marshal. Provide a certification to this effect. Exit doors, exit lights, and fire extinguisher locations shall not be concealed or obstructed by any decorative material.
- All gypsum wallboard shall be 5/8" Type "X" unless noted otherwise. Provide M.R. where noted.

001500 MECHANICAL

- Mechanical systems shall be bidder designed. Plans and calculations shall be prepared and stamped by a professional engineer or qualified designer, as required by jurisdiction. Plans and calculations shall be submitted to the local authorities having jurisdiction for approval and to the architect for review.
- When exposed to probable vehicular damage due to proximity of vehicular traffic, above ground gas meters, regulators and piping shall be suitably protected.
- All service water and roof drainage piping within the buildings shall be insulated.
- Mechanical rooms shall be marked with plainly visible and legible sign stating "Mechanical Room" or similar approved wording.

001600 ELECTRICAL

- Electrical rough-in and lighting / outlet locations in plan set are for the general information of the contractor. Exact locations should be verified with owner and be completed in accordance with code standards.
- The disconnecting means for each service, feeder or branch circuit originating on a switchboard or panel board shall be legibly and durably marked to indicate its purpose.
- Electrical systems shall be bidder designed. Plans and calculations shall be prepared and stamped by a professional engineer or qualified designer, as required by jurisdiction. Plans and calculations shall be submitted to the local authorities having jurisdiction for approval and to the architect for review.

GA GAGE, GAUGE

GLV GALVANIZE, GALVANIZED

GSKT GASKET

GC GENERAL CONTRACTOR

GL GLASS, GLAZE, GLAZING

GLB GLASS BLOCK

GRD GRADE

GWB GYPSUM WALLBOARD

H HIGH

HDW HARDWARE

HDW HARDWOOD

HDR HEADER

HVAC HEATING, VENTILATION & AIR CONDITIONING

MFR MANUFACTURER

MAS MASONRY

MO MASONRY OPENING

MTL METAL

MAX MAXIMUM

MECH MECHANICAL

MED MEDIUM

MTRL MATERIAL

MIN MINIMUM

MIR MIRROR

MISC MISCELLANEOUS

M.R. MOISTURE RESISTANT

NIC NOT IN CONTRACT

NTS NOT TO SCALE

OPG ON CENTER

OPP OPENING

OPOS OPPOSITE

OD OUTER DIAMETER

OH OVERHEAD

OFCI OWNER FURNISHED - CONTRACTOR INSTALLED

OFOI OWNER FURNISHED - OWNER INSTALLED

PNT PAINT

PLL PARALLEL

PKG PARKING

PAV PAVE, PAVERS, PAVEMENT

PEV PEDESTAL, PEDESTRIAN

PERF PERFORATE, PERFORATED

PLAM PLASTIC LAMINATE

PL PLATE

PLY PLYWOOD

PVC POLYVINYL CHLORIDE

PCF POUNDS PER CUBIC FOOT

PLF POUNDS PER LINEAR FOOT

PSF POUNDS PER SQUARE FOOT

PSI POUNDS PER SQUARE INCH

PT PRESSURE TREATED

PPN PREFINISHED

PROP PROPERTY LINE

R RISER, RISERS

REQD REQUIRED

REF REFERENCE

REFR REFRIGERATOR

REIN REINFORCE, REINFORCEMENT

RA RETURN AIR

RH RIGHT HAND

ROW RIGHT OF WAY

RD ROOF DRAIN

RO ROUGH OPENING

RM ROOM

RF ROOF

SF SQUARE FEET

SBK SETBACK

SCH SCHEDULE

SLNT SEALANT

SEC SECTION

SHT SHEET

SIM SIMILAR

SC SOLID CORE

SOG SLAB ON GRADE

SQ SQUARE

SS STAINLESS STEEL

STD STANDARD

STL STEEL

STOR STORE, STORAGE

SD SMOKE DETECTOR

STR STRUCTURAL

SYS SYSTEM

SYSB SIDE YARD SETBACK

TEL TELEPHONE

TV TELEVISION

THK THICKNESS

TBD TO BE DETERMINED

T&G TONGUE & GROOVE

TYP TYPICAL

UNO UNLESS NOTED OTHERWISE

UL UNDERWRITER'S LABORATORY

VJ V-JOINT

VB VAPOR BARRIER

VIF VERIFY IN FIELD

VERT VERTICAL

VG VERTICAL GRAIN

VIN VINYL

VCT VINYL TILE

VTO VENT TO OUTSIDE

WH WALL HUNG

WC WATER CLOSET

WEST WEST

WD WOOD

W/D WASHER/DRYER

WIN WINDOW

WO WITHOUT

WIC WALK-IN CLOSET

WP WATERPROOF

Abbreviations:

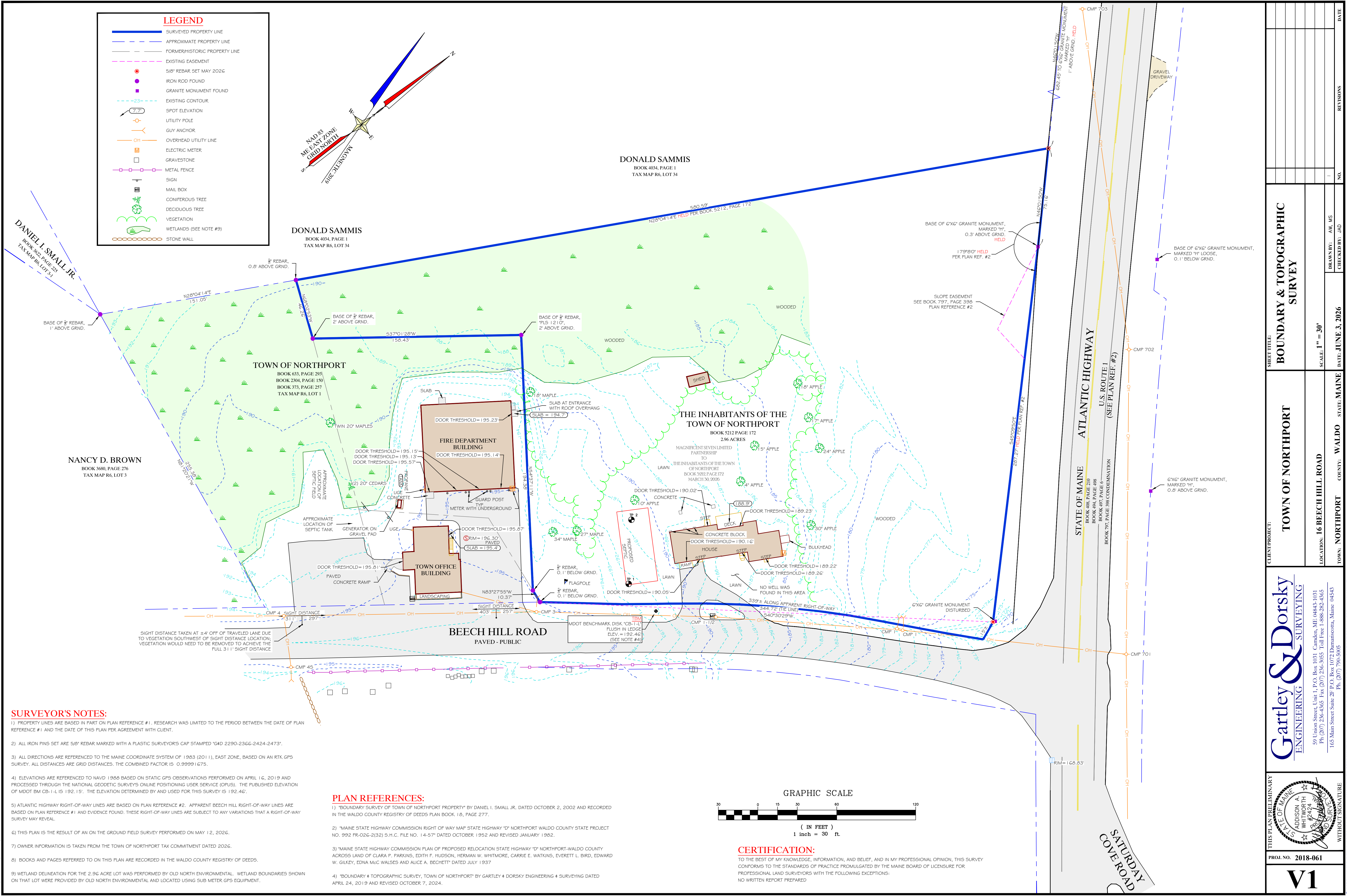
<	ANGLE	MED	MEDIUM
@	AT	MTRL	MATERIAL
#	NUMBER, POUNDS	MIN	MINIMUM
ABV	ABOVE	MIR	MIRROR
AFF	ABOVE FINISH FLOOR	MISC	MISCELLANEOUS
ACC	ACCESS	M.R.	MOISTURE RESISTANT
AC	AIR CONDITIONING	NIC	NOT IN CONTRACT
ACT	ACOUSTIC TILE	NTS	NOT TO SCALE
ADD	ADDENDUM	OPG	ON CENTER
ADJ	ADJACENT	OPP	OPPOSITE
ALT	ALTERNATE, ALTERNATIVE	OD	OUTER DIAMETER
ALUM	ALUMINUM	OH	OVERHEAD
ANOD	ANODIZED	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
APPROX	APPROXIMATE	OFOI	OWNER FURNISHED - OWNER INSTALLED
ARCH	ARCHITECT, ARCHITECTURAL		
AVG	AVERAGE		
BSMT	BASEMENT		
BSBL	BUILDING SETBACK LINE		
BM	BEAM	PNT	PAINT
BLW	BELOW	PLL	PARALLEL
BTWN	BETWEEN	PKG	PARKING
BLK	BLOCK, BLOCKING	PAV	PAVE, PAVERS, PAVEMENT
BTM	BOTTOM	PEV	PEDESTAL, PEDESTRIAN
BLDG	BUILDING	PERF	PERFORATE, PERFORATED
		PLAM	PLASTIC LAMINATE
		PL	PLATE
CAB	CABINET	PLY	PLYWOOD
CSMT	CASEMENT	PVC	POLYVINYL CHLORIDE
CLG	CEILING	PCF	POUNDS PER CUBIC FOOT
CL	CENTERLINE	PLF	POUNDS PER LINEAR FOOT
		PSF	POUNDS PER SQUARE FOOT
CLR	CLEAR, CLEARANCE	PSI	POUNDS PER SQUARE INCH
COL	COLUMN	PT	PRESSURE TREATED
CONC	CONCRETE	PPN	PREFINISHED
CMU	CONCRETE MASONRY UNITS	PROP	PROPERTY LINE
CONST	CONSTRUCTION		
CONT	CONTINUOUS	R	RISER, RISERS
CONTR	CONTRACTOR, CONTRACT	REQD	REQUIRED
CJ	CONTROL JOINT	REF	REFERENCE
CFM	CUBIC FEET PER MINUTE	REFR	REFRIGERATOR
		REIN	REINFORCE, REINFORCEMENT
DBL	DOUBLE	RA	RETURN AIR
DTL	DETAIL	RH	RIGHT HAND
DIAG	DIAGONAL	ROW	RIGHT OF WAY
DIA	DIAMETER	RD	ROOF DRAIN
DIM	DIMENSION, DIMENSIONAL	RO	ROUGH OPENING
DN	DOWN	RM	ROOM
DR	DOOR	RF	ROOF
DW	DISHWASHER		
DWG	DRAWING	SF	SQUARE FEET
		SBK	SETBACK
EA	EACH	SCH	SCHEDULE
EF	EXHAUST FAN	SLNT	SEALANT
EJ	EXPANSION JOINT	SEC	SECTION
ELEC	ELECTRIC, ELECTRICAL	SHT	SHEET
ELEV	ELEVATION	SIM	SIMILAR
ELC	ELEVATOR	SC	SOLID CORE
EMER	EMERGENCY	SOG	SLAB ON GRADE
ENCL	ENCLOSURE, ENCLOSE	SQ	SQUARE
EQ	EQUAL		
EOP	EQUIPMENT	SS	STAINLESS STEEL
EST	ESTIMATE, ESTIMATED	STD	STANDARD
EXH	EXHAUST	STL	STEEL
EXST	EXISTING	STOR	STORE, STORAGE
EXT	EXTERIOR	SD	SMOKE DETECTOR
		STR	STRUCTURAL
FOF	FACE OF FINISH	SYS	SYSTEM
FD	FLOOR DRAIN	SYSB	SIDE YARD SETBACK
FIN	FINISH, FINISHED		
FE	FIRE EXTINGUISHER	TEL	TELEPHONE
FP	FIREPROOF, FIREPLACE	TV	TELEVISION
FR	FIRE RESISTANT	THK	THICKNESS
FLR	FLOOR	TBD	TO BE DETERMINED
FTG	FOOTING	T&G	TONGUE & GROOVE
FND	FOUNDATION	TYP	TYPICAL
FUR	FURRING		
FT	FOOT, FEET		
		GA	GAGE, GAUGE
		GLV	GALVANIZE, GALVANIZED
		GSKT	GASKET
		GC	GENERAL CONTRACTOR
		GL	GLASS, GLAZE, GLAZING
		GLB	GLASS BLOCK
		GRD	GRADE
		GWB	GYPSUM WALLBOARD
		H	HIGH
		HDW	HARDWARE
		HDW	HARDWOOD
		HDR	HEADER
		HVAC	HEATING, VENTILATION & AIR CONDITIONING
		MFR	MANUFACTURER
		MAS	MASONRY
		MO	MASONRY OPENING
		MTL	METAL
		MAX	MAXIMUM
		MECH	MECHANICAL

Symbol Legend:

	INTERIOR ELEVATION REFERENCE
	ELEVATION REFERENCE NUMBER
	KEY PLAN REFERENCE NUMBER
	EXTERIOR ELEVATION REFERENCE
	ELEVATION REFERENCE NUMBER
	BUILDING SECTION REFERENCE
	SECTION REFERENCE NUMBER
	CEILING HEIGHT ABOVE FINISH FLOOR
	CHANGE IN ELEVATION

Existing Photos:

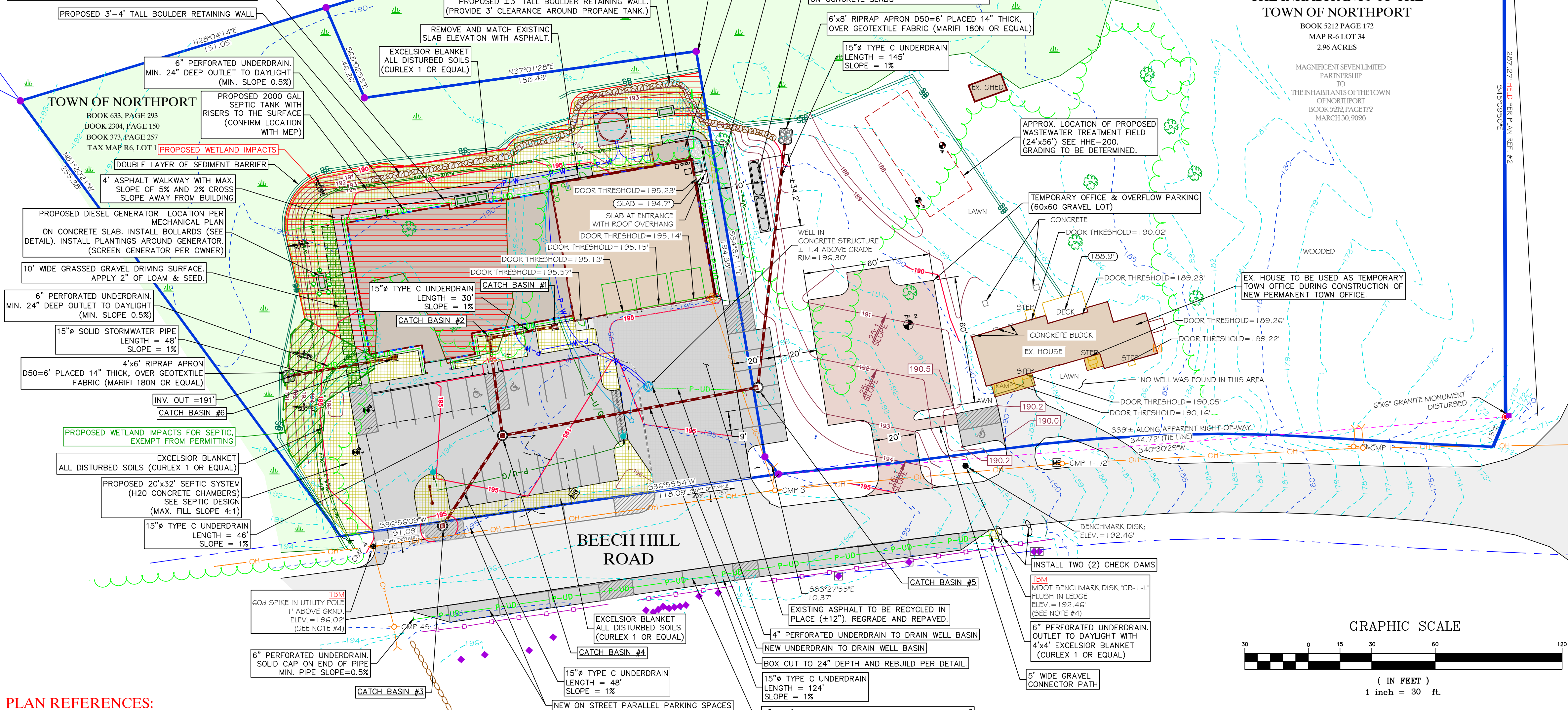




CONSTRUCTION NOTES:

- ALL CONSTRUCTION MUST COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL LAWS.
- CONTRACTOR SHALL CONTACT DIG SAFE, AND COORDINATE WITH THE TOWN, UTILITY COMPANIES, AND EMERGENCY SERVICES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGED UTILITIES DURING CONSTRUCTION.
- ALL DISTURBED SLOPES BETWEEN 3:1 AND 2:1 SHALL BE STABILIZED WITH AMERICAN EXCELSIOR CURLEX I EROSION CONTROL BLANKET OR EQUAL. SLOPES GREATER THAN 2:1 SHALL BE STABILIZED WITH AMERICAN EXCELSIOR CURLEX II OR EQUAL. SLOPES GREATER THAN 1:5:1 SHALL BE STABILIZED WITH RIPRAP PER ENGINEER.
- ALL DISTURBED SOILS SHALL BE LOAMED (4" MIN.), SEEDED AND MULCHED.
- ALL DISTURBED GRAVEL AND PAVEMENT SHALL BE RESTORED TO ORIGINAL CONDITIONS.
- EROSION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH THE LATEST VERSION OF "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES".
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE NOT EXACT, NOR CAN IT BE ASSUMED THAT ALL EXISTING UTILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SAFE TRAFFIC FLOW THROUGH THE CONSTRUCTION AREA AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ALL NECESSARY PRECAUTIONS TO CLEAN INADVERTENT EQUIPMENT FLUID DISCHARGE IN OR NEAR ANY WATER COURSE.
- ALL EXISTING FEATURES (TREES, SIGNS, ETC.) SHALL BE PROTECTED DURING CONSTRUCTION, OR RESTORED PRIOR TO COMPLETION OF THE PROJECT. THERE IS NO ADDITION COST FOR BRACING OF UTILITY POLES.
- ALL EXISTING PLANTINGS SHALL BE PROTECTED OR PRESERVED (TRANSPLANT AND/OR RELOCATED) TO THE GREATEST EXTENT POSSIBLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WORK SITE SAFETY DURING WORKING AND NON-WORKING HOURS. APPROPRIATE SIGNAGE AND BARRIERS SHALL BE USED DURING THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING PROJECT DESIGN PER CONSTRUCTION DRAWINGS.
- CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A WATER MANAGEMENT PLAN, IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL PERMITS PREVIOUSLY OBTAINED.
- ALL EXISTING SIGNS SHALL BE RESET FOLLOWING CONSTRUCTION.
- ENTRANCE SLABS AND SIDEWALKS ADJACENT TO THE BUILDING MUST HAVE NON-FROST SUSCEPTIBLE STRUCTURAL FILL TO A DEPTH OF AT LEAST 4.5 FEET BELOW THE TOP OF ENTRANCE SLABS.
- MAIL BOX SHALL BE SET IN ACCORDANCE WITH LOCAL U.S.P.S. STANDARDS.
- THE FINDINGS AND RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT, FOR THIS PROJECT (IF PRESENT), SHALL BE INTEGRATED AND FOLLOWED DURING CONSTRUCTION. IF A CONFLICT ARISES BETWEEN THIS PLAN (PLAN SET) AND THE GEOTECHNICAL REPORT THE CONTRACTOR SHALL REPORT SUCH DISCREPANCIES TO THE PROJECT ENGINEER AND PROCEED WITH THE GEOTECHNICAL REPORTS RECONDITIONS UNLESS DIRECTED SPECIFICALLY BY THE PROJECT ENGINEER.

TYPICAL DRIP APRON WITH UNDERDRAIN (DRAIN TO DAYLIGHT)
NOTE: FOOTING DRAIN NOT SHOWN FOR CLARITY, SEE STRUCTURAL PLANS.



PLAN REFERENCES:

- "BOUNDARY SURVEY OF TOWN OF NORTHPORT PROPERTY" BY DANIEL I. SMALL JR., DATED OCTOBER 2, 2002 AND RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS PLAN BOOK 18, PAGE 277.
- "MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP STATE HIGHWAY "D" NORTHPORT WALDO COUNTY STATE PROJECT NO. 992 FR-02G-2(32) S.H.C. FILE NO. 1-4-57" DATED OCTOBER 1952 AND REVISED JANUARY 1982.
- "MAINE STATE HIGHWAY COMMISSION PLAN OF PROPOSED RELOCATION STATE HIGHWAY "D" NORTHPORT-WALDO COUNTY ACROSS LAND OF CLARA P. PARKINS, EDITH F. HUDSON, HERMAN W. WHITMORE, CARRIE E. WATKINS, EVERETT L. BIRD, EDWARD W. GILKEY, EDNA MC WALSLES AND ALICE A. BECHETT" DATED JULY 1937
- "BOUNDARY & TOPOGRAPHIC SURVEY, TOWN OF NORTHPORT" BY GARTLEY & DORSKY ENGINEERING & SURVEYING DATED APRIL 24, 2019 AND REVISED OCTOBER 7, 2024.
- "BOUNDARY & TOPOGRAPHIC SURVEY, TOWN OF NORTHPORT," BY GARTLEY & DORSKY ENGINEERING & SURVEYING, DATED JUNE 3, 2026.

NOTES FROM PLAN REFERENCE #5:

- PROPERTY LINES ARE BASED ON PLAN REFERENCE #1. RESEARCH WAS LIMITED TO THE PERIOD BETWEEN THE DATE OF PLAN REFERENCE #1 AND THE DATE OF THIS PLAN PER AGREEMENT WITH CLIENT.
- ALL IRON PINS SET ARE 5/8" REBAR MARKED WITH A PLASTIC SURVEYORS CAP STAMPED "GAD 2290-236G-2424-2473".
- ALL DIRECTIONS ARE REFERENCED TO THE MAINE COORDINATE SYSTEM OF 1983 (2011), EAST ZONE, BASED ON AN RTK GPS SURVEY. ALL DISTANCES ARE GRID DISTANCES. THE COMBINED FACTOR IS 0.99991675.
- ELEVATIONS ARE REFERENCED TO NAVD 1988 BASED ON STATIC GPS OBSERVATIONS PERFORMED ON APRIL 16, 2019 AND PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING USER SERVICE (OPUS).
- THIS PLAN IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED ON APRIL 16, 2019.
- OWNER INFORMATION IS TAKEN FROM THE TOWN OF NORTHPORT TAX COMMITMENT DATED 2018.
- BOOKS AND PAGES REFERRED TO ON THIS PLAN ARE RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS.

WETLAND PLAN NOTES:

WETLANDS WERE DELINEATED BY NATALIE F. CURRY, MAINE SOILS SCIENTIST #613 & WETLAND SCIENTIST. WETLAND BOUNDARIES WERE LOCATED WITH A MAPPING GRADE GPS UNIT. THE STANDARDS FOR THIS WETLAND DELINEATION ARE THE TECHNICAL CRITERIA ESTABLISHED BY THE U.S. ARMY CORPS OF ENGINEERS (ACOE) 2012 REGIONAL SUPPLEMENT (VERSION 2) OF THE 1987 US ACOE WETLAND DELINEATION MANUAL.

LEGEND

- SURVEYED PROPERTY LINE
- APPROXIMATE PROPERTY LINE
- 5' PARKING SETBACK
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING UTILITY POLE
- EXISTING GUY ANCHOR
- EXISTING OVERHEAD UTILITY LINE
- EXISTING BELOW GROUND ELECTRIC (APPROXIMATE LOCATION)
- EXISTING ELECTRIC METER
- PROPOSED UTILITY POLE
- PROPOSED UNDERGROUND UTILITY LINE
- PROPOSED LIGHT
- EXISTING SIGN
- EXISTING MAIL BOX
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER CATCH BASIN
- PROPOSED UNDERDRAIN
- SEPTIC SYSTEM TEST PIT
- PROPOSED SANITARY GRAVITY LINE
- PROPOSED SANITARY FORCE MAIN
- EXISTING UNDERGROUND WATER LINE (APPROXIMATE LOCATION)
- PROPOSED WATER LINE
- EXISTING GRAVESTONE
- EXISTING METAL FENCE
- EXISTING VEGETATION
- EXISTING WETLANDS
- PROPOSED IMPACTED WETLAND
- PROPOSED SEDIMENT BARRIER
- EROSION CONTROL BLANKET

GENERAL SITE NOTES:

- LOT INFORMATION:
PHYSICAL ADDRESS:
16 BEECH HILL ROAD, NORTHPORT, ME
TAX MAP: R-6 LOT: 1
LOT AREA: ±1.31 ACRES
DEED: BK:53 PG:293
BK:2304 PG:150
BK:373 PG:257
TAX MAP: R-6 LOT: 34
LOT AREA: ±296 ACRES
DEED: BK:5212 PG:172
- OWNER & APPLICANT:
TOWN OF NORTHPORT
16 BEECH HILL ROAD, NORTHPORT, MAINE 04849
(207) 338-3819
- ARCHITECT:
2A ARCHITECTS, LLC
PO BOX 189, ROCKPORT, ME 04856
(207) 236-6545
- ENGINEER & SURVEYOR:
GARTLEY & DORSKY ENGINEERING & SURVEYING INC.
59 UNION STREET UNIT 1, CAMDEN, ME 04843
(207) 236-4365
- NOTES:
• PROPOSED WETLAND IMPACTS = 10,625 S.F.

THE INHABITANTS OF THE TOWN OF NORTHPORT

BOOK 5212 PAGE 172
MAP R-6 LOT 34
2.96 ACRES

MAGNIFICENT SEVEN LIMITED
PARTNERSHIP
TO
THE INHABITANTS OF THE TOWN
OF NORTHPORT
BOOK 5212 PAGE 172
MARCH 30, 2026

APPROX. LOCATION OF PROPOSED
WASTEWATER TREATMENT FIELD
(24'x56") SEE HHE-200.
GRADING TO BE DETERMINED.

TEMPORARY OFFICE & OVERFLOW PARKING
(60'x60 GRAVEL LOT)

EX. HOUSE TO BE USED AS TEMPORARY
TOWN OFFICE DURING CONSTRUCTION OF
NEW PERMANENT TOWN OFFICE.

NO WELL WAS FOUND IN THIS AREA

DOOR THRESHOLD = 189.22'

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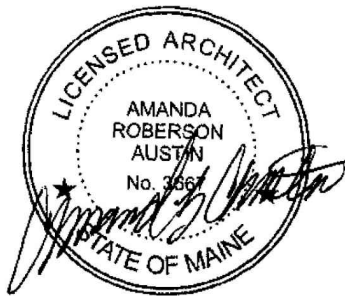
DOOR THRESHOLD = 189.26'



architects, llc

280 West Street, Suite B (Office)
P.O. Box 189 (Mailing)
Rockport, Maine 04856
Tel: 207.236.6545
Web: www.2Aarch.com
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Registration: ■



Project: ■

Temporary Office
Northport Town Office
8 Beech Hill Road
Northport, ME 04849
Client ■ Community

Consultant: ■

Sheet Size: ■
24" x 36" Paper Size
Sheet Issue Date: ■
Owner Review 8/31/26
CD / Permit Set 9/9/26

Project Start Date: ■

April 2018

Project Number: ■

23-108

Sheet Title: ■

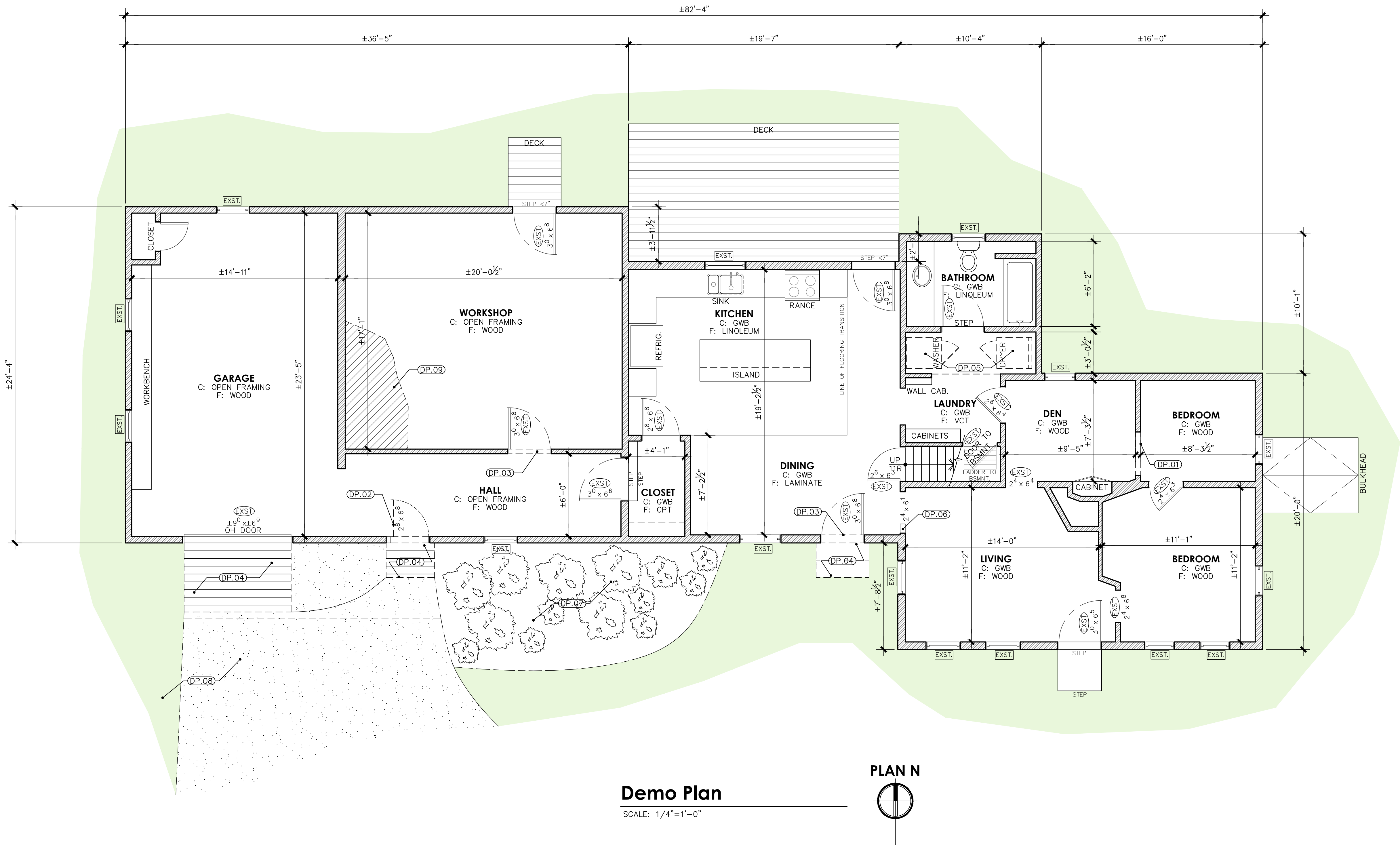
DEMO PLAN

Sheet Plot Date: ■

09/09/2026 A2_0_Demo_MainFloor.dwg

Sheet Number: ■

A2.0



Demo Plan

SCALE: 1/4"=1'-0"

GENERAL DEMO PLAN NOTES:

01. REMOVE ALL EXISTING WORK AS NECESSARY TO ACCOMMODATE NEW WORK.
02. THIS PLAN SHOWS GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS.
03. THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED THERETO CONFORM WITH ALL LOCAL, REGIONAL, STATE, AND/OR FEDERAL REGULATIONS PERTAINING TO DISTURBING, DISPLACING, AND/OR REMOVAL OF ASBESTOS OR ASBESTOS CONTAINING MATERIAL AND MATERIALS CONTAINING LEAD.
04. ALL DIMENSIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY AND PERFORM DEMOLITION ACCORDINGLY.
05. REPETITIVE ITEMS NOT NOTED ON DEMOLITION PLAN SHALL BE REMOVED AS IF NOTED.

06. PROTECT AREAS TO REMAIN FROM DAMAGE DURING ADJACENT DEMOLITION WORK.
07. CONTRACTOR SHALL WALK THROUGH THE BUILDING WITH THE CLIENT PRIOR TO DEMOLITION TO CONFIRM ALL ELEMENTS TO BE SAVED.
08. INSULATION NOTE: WHEN EXTERIOR WALL CAVITIES ARE EXPOSED AND WILL REMAIN AS EXTERIOR WALLS, FILL ANY EMPTY CAVITIES WITH INSULATION TO FULL DEPTH OF CAVITY.
09. ALL EXISTING FINISHES TO REMAIN SHALL BE PROPERLY PREPPED FOR PAINT OR NEW FINISH. VERIFY EXTENT OF PAINTING WITH OWNER.
10. INTERIOR AND EXTERIOR FINISHES, FIXTURES, CABINETRY, DOORS, AND WINDOWS TO REMAIN, U.N.O.

DEMO PLAN KEYNOTES:

- | | | | | | |
|---------|--|--|--|--|--|
| (DP.01) | REMOVE WALL & ASSOCIATED ITEMS FOR NEW DOOR OPENING. | | | | |
| (DP.02) | REMOVE DOOR, FRAME & ASSOCIATED ITEMS | | | | |
| (DP.03) | REMOVE DOOR SILL. PREP FOR NEW ACCESSIBLE SILL, WHERE NOTED ON PLAN. | | | | |
| (DP.04) | REMOVE WOOD FRAMED DECK AND/OR STEPS | | | | |
| (DP.05) | REMOVE WASHER AND DRYER | | | | |
| (DP.06) | MODIFY WALL FOR WIDENED CASED OPENING. SIZE PER PLAN | | | | |
| (DP.07) | REMOVE PLANTINGS, AS NEEDED, FOR NEW ACCESSIBLE PATHWAY AND DECK | | | | |
| (DP.08) | REMOVE ASPHALT / GRASS AS NEEDED FOR NEW DECK, PARKING, AND GRADING TO REQUIRED ACCESSIBLE SLOPE. | | | | |
| (DP.09) | INVESTIGATE DAMP AREA OF FLOORING. REMOVE AND SALVAGE FLOOR BOARDS AS NEEDED TO VIEW SUBFLOOR CONDITIONS. REVIEW FRAMING CONDITION AND PREP FOR ANY REPAIRS TO STABILIZE FLOOR. REVIEW CONDITIONS WITH ARCHITECT / OWNER PRIOR TO REPAIRS. | | | | |

LEGEND:

- | | |
|--|---|
| | EXISTING WOOD FRAMED WALL TO REMAIN |
| | EXISTING WALL / MATERIALS TO BE DEMOLISHED FOR IMPROVEMENTS |
| | INDICATES EXISTING DOOR OR CASED OPENING TO REMAIN |
| | INDICATES EXISTING WINDOW TO REMAIN |

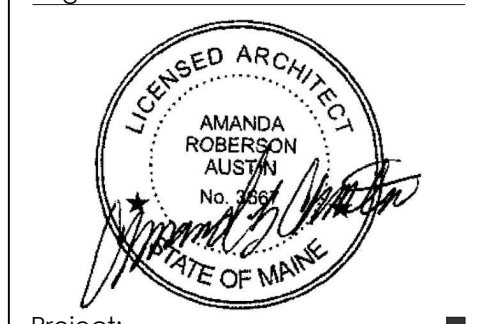


2A
architects, llc

280 West Street, Suite B (Office)
P.O. Box 189 (Mailing)
Rockport, Maine 04856

Tel: 207.236.6545
Web: www.2Arch.com
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Registration: ■



Project: ■

**Temporary
Northport Town Office**
8 Beech Hill Road
Northport, ME 04849

Consultant: ■

Sheet Size:
24" x 36" Paper Size
Sheet Issue Date:
Owner Review 8/31/26
CD / Permit Set 9/9/26
Bid Plan (w/ Toilet Alternate) 9/11/26

Project Start Date: ■
April 2018

Project Number: ■
23-108

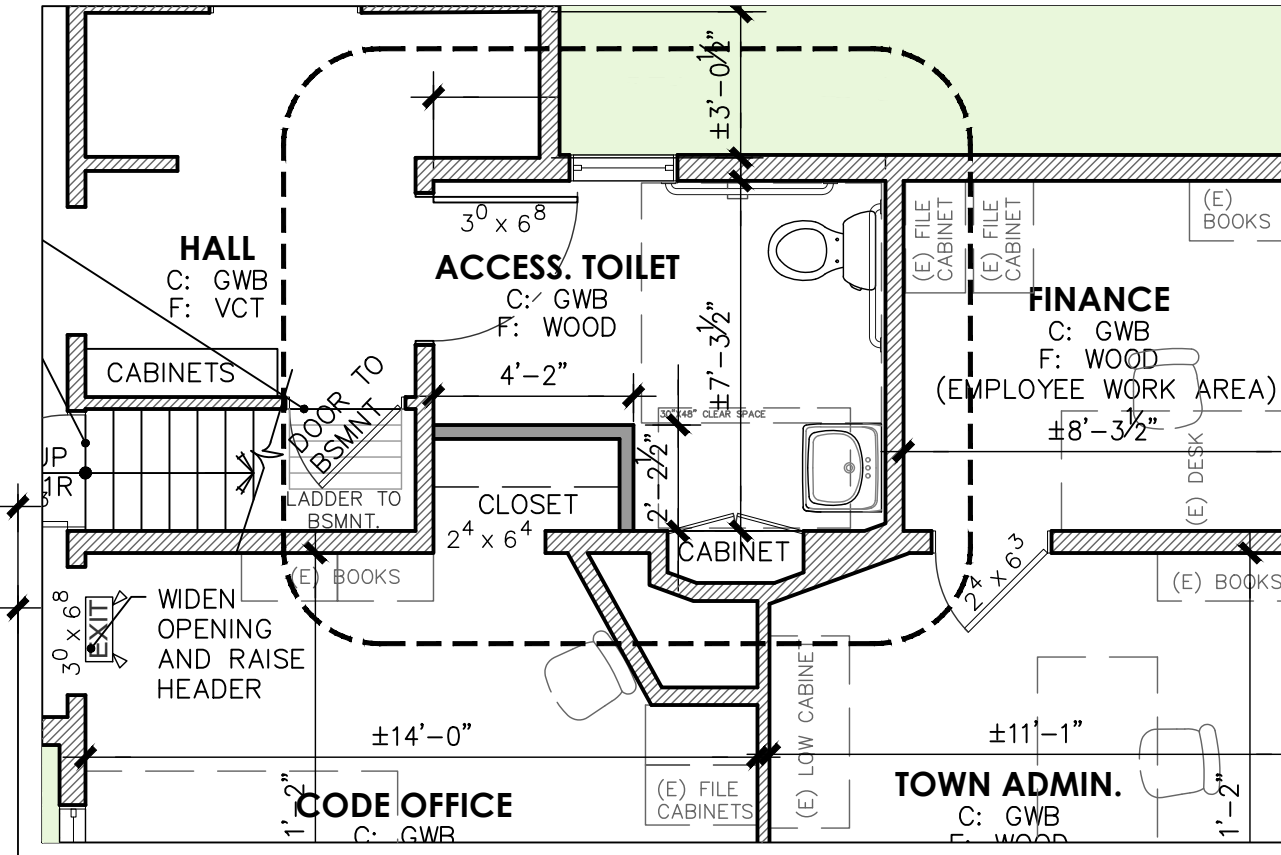
Sheet Title: ■

**FIRST
FLOOR PLAN**

Sheet Plot Date: ■
09/11/2026 A3.0_OverallMainFloorPlan-BReech.dwg

Sheet Number: ■

A3.0



Alternate - Accessible Toilet Plan
SCALE: 1/4"=1'-0"

Code Summary:

TYPE OF CONSTRUCTION:
TYPE VB (V-000)
NON-SPRINKLED BUILDING, NO FIRE ALARM

2-STORY WITH BASEMENT. TEMPORARY OCCUPANCY WILL OCCUPY FIRST FLOOR ONLY. OWNER TO PROHIBIT ACCESS TO 2ND FLOOR. BASEMENT NOT-OCCUPIABLE DUE TO ACCESS AND LOW HEADROOM.

OCCUPANCY TYPE:
BUSINESS USE (CHANGE OF USE FROM RESIDENCE)

ALLOWABLE BUILDING HEIGHT, STORIES & AREA (CHAP. 10 IBC):
FIRST FLOOR GROSS AREA: 1,917 SF
EXISTING HEIGHT AND AREA ACCEPTABLE PER IBC 1011.6.2
NO CHANGES TO HEIGHT OR AREA PROPOSED

TOTAL OCCUPANT LOAD: REFER TO PLAN FOR OCCUPANT LOAD

TRAVEL DISTANCE:
ALLOWABLE TRAVEL DISTANCE: 200 FT. (NFPA 39.2.6.2)
MAX. TRAVEL DIST. PROVIDED: SEE PLAN

MEANS OF EGRESS (IEBC 1011.1.2/905/804.2(1), NFPA 39.2.4.):
BLDG. EXITS REQD.: 2 EXITS
EXITS PROVIDED: 2 EXITS

MEETING ROOM EGRESS (NFPA 39.2.4.3, IBC TABLE 1006.2.1):
1 EXIT ALLOWED

EXIT SEPARATION (NFPA 7.5.1.3.5, 7.5.1.3.1): IN (E) BUILDINGS, EXIT DISCHARGES EXEMPT FROM SEPARATION DISTANCE CRITERIA

Energy Code Note:

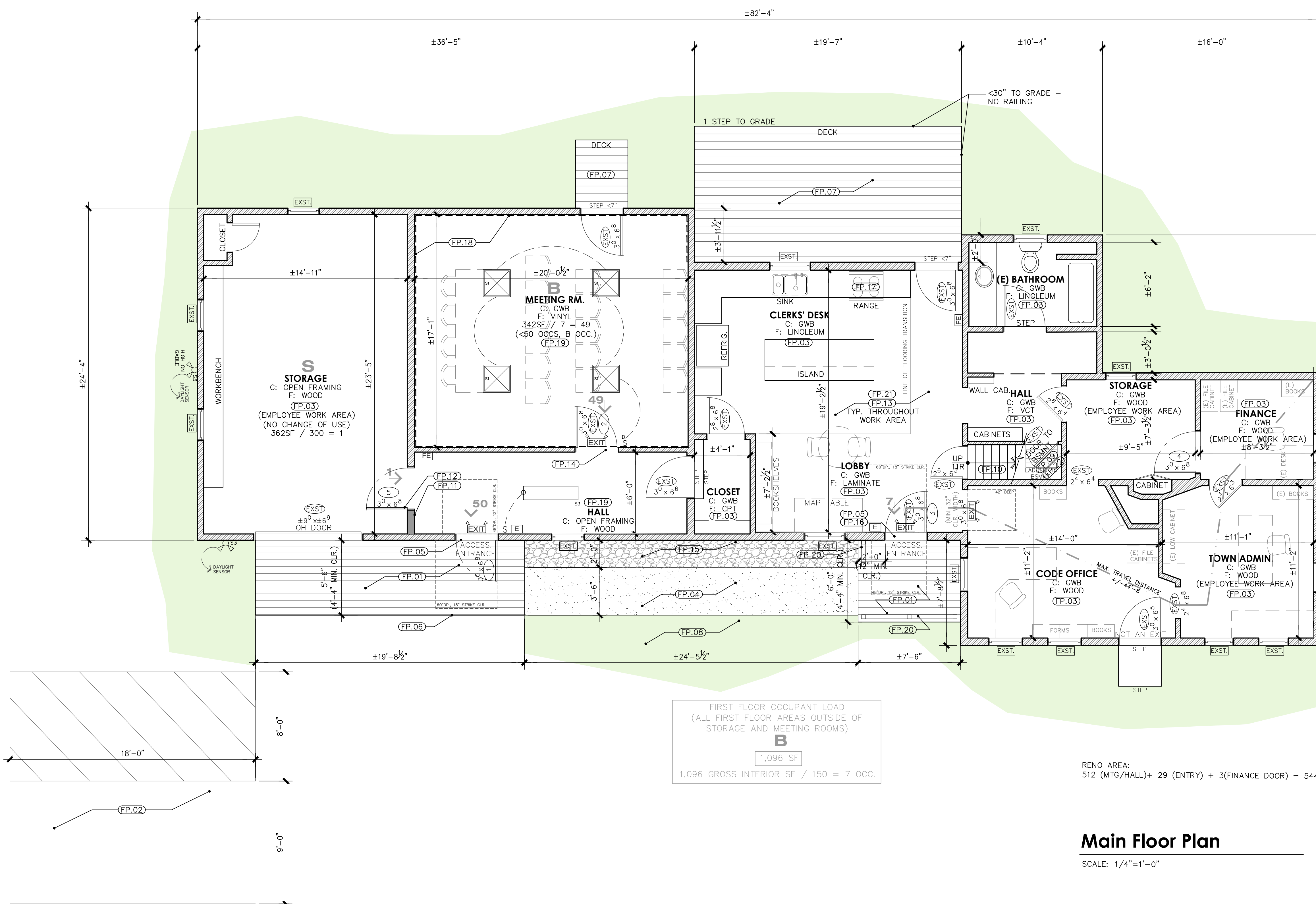
NEW EXTERIOR DOOR:
U-VALUE: .35 MAXIMUM, SHGC: .34

INSULATION:
ANY EXTERIOR WALL CAVITIES WHICH ARE OPENED IN HEATED AREAS ARE TO BE FILLED TO FULL DEPTH WITH INSULATION.

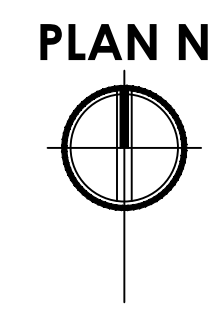
MEETING ROOM TO BE CONVERTED FROM UNHEATED SPACE. WALLS INDICATED BY DASHED LINE TO RECEIVE THE FOLLOWING:
- R-13 MIN. (2X4 WALLS) / R-20 MIN. (2X6 WALLS)
FIBRGLSS. (BATTS OR BLOWN-IN), CELLULOSE OR MINERAL WOOL.
- R-5 CONTINUOUS INSULATION (MTG. RM. SIDE)
- 5/8" TYPE 'X' GWB FINISH (MTG. ROOM SIDE)
CEILING OF THE FULL ROOM TO RECEIVE:
- R-49 INSUL. BLOWN IN FIBERGLASS, CELLULOSE OR BATTS
- CLASS 1 OR 2 VAPOR RETARDER (I.E. CERTANTEED MEMBRAN)
- 5/8" TYPE 'X' GWB FINISH (MTG. ROOM SIDE)

CODE LEGEND:
— TRAVEL DISTANCE
◀ NUMBER OF OCCUPANTS EXITING AT DOOR.
B IBC/NFPA OCCUPANCY CATEGORY.

APPLICABLE CODES:
ZONING CODE: TOWN OF NORTHPORT LAND USE ORD.
BUILDING CODE: NFPA 101 2018 W/ MAINE AMENDMENTS
MUBEC 2021 W/ MAINE AMENDMENTS
IECC 2021 W/ MAINE AMENDMENTS
2010 ADA, ICC A117.1-2017



Main Floor Plan
SCALE: 1/4"=1'-0"



GENERAL PLAN NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES & STANDARDS.
- ANY ELECTRICAL SYSTEM, PLUMBING, AND HVAC SYSTEM MODIFICATIONS SHALL BE BIDDER DESIGNED. SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE PREPARATION OF ALL DRAWINGS AND APPLICATIONS FOR REQUIRED PERMITS. COORDINATE W/ OWNER FOR FIXTURE SELECTIONS.
- CONTRACTOR TO COORDINATE W/ OWNERS I.T. (INFORMATION TECHNOLOGY) COMPANY FOR OPTIONS OR REQUIREMENTS FOR COMPUTERS, NETWORKING, AV, SPEAKERS, PRINTERS, WI-FI SYSTEM, OR OTHER RELATED ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND OBTAINING ALL REQUIRED BUILDING INSPECTIONS AND PERMITS NOT PROVIDED BY ARCHITECT / OWNER.
- ALL MOVEABLE FURNITURE INDICATED IS FOR REFERENCE PURPOSES ONLY AND SHALL BE PURCHASED AND INSTALLED BY OWNER.
- FILL ALL PLUMBING, HVAC & ELECTRICAL PENETRATIONS THROUGH PLATES & SUBFLOOR WITH LOW EXPANSION FOAM.
- DIMENSIONS ARE TO FACE OF FINISH AT EXISTING WALLS, U.N.O. ON FLOOR PLANS.
- CONTRACTOR TO PROVIDE A DESIGN BUILD SYSTEM SUPPORTING THE PROPOSED PROJECT AND ELECTRICAL AND LIGHTING LAYOUT. VERIFICATION AND COMPLIANCE WITH ELECTRICAL CODES IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- PROVIDE POWER FOR ALL OTHER TRADES AND COORDINATE FIXTURE, SWITCH AND EQUIPMENT LOCATIONS WITH STRUCTURAL ELEMENTS, HVAC SYSTEMS, PLUMBING, CABINETRY AND OTHER TRADES.
- LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVER (IECC 402.4.5)
- VERIFY ANY ADDITIONAL ELECTRICAL MODIFICATIONS (I.E. LIGHT FIXTURE CHANGES, ADDITIONAL OUTLETS, ETC.) WITH OWNER.
- PRIMING / PAINTING NOT IN CONTRACTOR SCOPE. TO BE COMPLETED BY OWNER.

LEGEND:

- NOTE: LIGHT FIXTURE SELECTIONS TBD. ELECTRICIAN TO PROPOSE OPTIONS FOR OWNER REVIEW.
- EXISTING WOOD FRAMED WALL TO REMAIN
 - NEW WOOD FRAMED WALL TO REMAIN
 - EXISTING DOOR OR CASED OPENING TO REMAIN
 - INDICATES EXISTING WINDOW TO REMAIN
 - INDICATES NEW DOOR OR (E) DOOR W/ NEW HRDRW. PER SCHEDULE
 - WALL MOUNTED ILLUMINATED COMBO. EXIT SIGN & EMERGENCY LIGHT (LED) W/ BATTERY BACKUP
 - 2X2 SURFACE MOUNT LED PANEL LIGHT FIXTURE
 - LOW PROFILE LED UTILITY LIGHTING (4' LENGTH)
 - EXTERIOR LIGHT FIXTURE
 - SINGLE POLE SWITCH ('D' INDICATES DIMMER SWITCH)
 - MANUAL FIRE EXTINGUISHER IN SEMI RECESSED OR SURFACE MOUNTED CABINET WITH CLASS RATING IN ACCORDANCE W/ NFPA 10 STANDARD, BY OWNER.
 - ADA COMPLIANT ADA EXIT WALL SIGN PER DTL. 1/A7.0

FLOOR PLAN KEYNOTES:

- NEW P.T. WOOD FRAMED DECK AND DECKING. CREATE FLUSH TRANSITION WITH B.O. DOOR SILL. (<30" TO GRADE. NO GUARDRAIL REQUIRED.)
- ACCESSIBLE PARKING STALL AND ACCESS AISLE WITH SIGNAGE PER DETAIL 3/A7.0
- NO CHANGES PROPOSED IN THIS SPACE.
- SLOPED COMPACT GRAVEL WALKWAY (36" WIDE MIN, 1:20 MAX SLOPED, +/-10" OVERALL HEIGHT TRANSITION REQD.)
- ACCESSIBLE ENTRANCE - DOOR WITH ACCESSIBLE SILL AND HARDWARE, PER SCHEDULE A7.0
- LEVEL TRANSITION BETWEEN DECK AND DRIVEWAY SURFACE (1/2" DIFFERENCE MAX.)
- (E) DECK TO REMAIN.
- ANY AREAS OF CONSTRUCTION RELATED SITE DISTURBANCE TO BE SEEDED WITH GRASS SEED MIX.
- ACCESS PROHIBITED TO BASEMENT VIA LADDER.
- ACCESS PROHIBITED TO SECOND FLOOR.
- NEW WOOD-FRAMED WALL. F.O. FINISH FLUSH W/ ADJ. WALL
- NEW DOOR PER SCHEDULE.

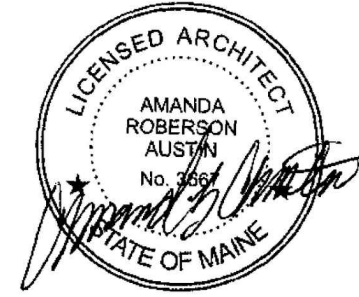
- TYPICAL AT ALL SPACES: VERIFY ANY ADDTL. ELECTRICAL MODIFICATIONS (I.E. LIGHT FIXTURE CHANGES, ADDITIONAL OUTLETS, GROUNDING, ETC.) WITH OWNER.
- PATCH FLOOR (FLUSH W/ ADJ. FLOOR) AT REMOVED DOOR SILL TO PROVIDE ACCESSIBLE ENTRY INTO MEETING ROOM.
- CRUSHED STONE DRIP EDGE ADJACENT TO EXISTING WALL.
- REMOVE SILL AT ENTRY DOOR. REPLACE W/ ACCESSIBLE SILL PER DETAIL 4/A7.0.
- PER SFMO REQUIREMENT: RANGE USE LIMITED TO WARMING OF FOOD ONLY (NO COOKING ALLOWED WHICH EMITS GREASE VAPORS FROM OILS, BUTTERS, OR OTHER ITEMS). SIGNAGE TO BE POSTED AT RANGE NOTING REQUIREMENT FOR ALL BUILDING USERS.
- LINE OF WALLS TO BE INSULATED. FULL CEILING OF MEETING ROOM TO BE INSULATED. SEE WALL/CEILING ASSEMBLY DESCRIPTION IN ENERGY CODE NOTES.
- SAND / PREP WOOD FLOORS FOR OWNER PAINTING.
- RAILING PER ELEVATION.
- MIN. (1) SMOKE/CO DETECTOR TO BE PLACED ON EA. FLOOR
- REVIEW ADDITIONAL SUPPORTS TO BE ADDED IN BASEMENT AREA WITH OWNER.



architects, llc

280 West Street, Suite B (Office)
P.O. Box 189 (Mailing)
Rockport, Maine 04856
Tel: 207.236.6545
Web: www.2Aarch.com
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EXTERIOR
ELEVATION

Sheet Plot Date:
09/09/2026 A4.0_Elevation.dwg

Sheet Number: ■

A4.0



1 South Elevation
SCALE: 1/4"=1'-0"

ELEVATION KEYNOTES:	
(EL.01)	(E) GARAGE DOOR TO REMAIN.
(EL.02)	LINE OF NEW ENTRY DECK.
(EL.03)	NEW ACCESSIBLE ENTRANCE DOOR IN MODIFIED OPENING. DOOR PER SCHEDULE.
(EL.04)	(E) DOOR TO REMAIN. SILL TO BE MODIFIED, REFER TO PLAN.
(EL.05)	ACCESSIBLE PATHWAY, PER PLAN
(EL.06)	(E) SIDING TO REMAIN.
(EL.07)	(E) WINDOW TO REMAIN.
(EL.08)	(E) ASPHALT ROOF TO REMAIN.
(EL.09)	LINE OF (E) STEP TRANSITION IN FLOOR LEVELS BEYOND.
(EL.10)	(E) DOOR TO REMAIN.
(EL.11)	P.T CAP RAILING AND POSTS. HORIZONTAL RAIL BETWEEN POSTS, 4" MAX ABOVE DECK.

DOOR SCHEDULE:

DOOR NO.	ROOM LOCATION	MANUFACTURER (MFR)	STYLE	DOOR TYPE	CONST.		DOOR SIZE			HARDWARE TYPE	RATING			DOOR FRAME & FINISH	REMARKS
					DOOR	FRAME	WIDTH	HEIGHT	THICK		1 HR	3/4 HR	20 MIN.		
1	HALL	THRMTRU OR EQ.	EXT.	D1	FBGL.	WD	3'0"	6'8"	--	HS-1				●	--
2	MTG. RM. -- INT.	(E) DOOR	INT.	EXIST.	WD	WD	3'0"	6'8"	--	HS-3				●	--
3	LOBBY	(E) DOOR	EXT.	EXIST.	FBGL.	WD	3'0"	6'8"	--	HS-4				●	--
4	FINANCE OFFICE	BROSCO OR EQ.	INT.	D2	WD	WD	3'0"	6'8"	--	HS-2				●	--
5	STORAGE	BROSCO OR EQ.	INT.	D2	WD	WD	3'0"	6'8"	--	HS-2				●	--

DOOR TYPE:

D1
EXTERIOR DOOR
FIBERGLASS
W/ HALF LIGHT

D2
INTERIOR DOOR
MDF OR WOOD
FACTORY PRIMED

DOOR HARDWARE SETS:

HS-1 HINGES
LEVER LOCKSET WITH SINGLE ACTION DEADBOLT
(NOTE: DOOR MUST OPEN WITH SINGLE ACTION FROM INTERIOR SIDE)
SURFACE MOUNTED CLOSER
ACCESSIBLE THRESHOLD
WEATHERSTRIPPING

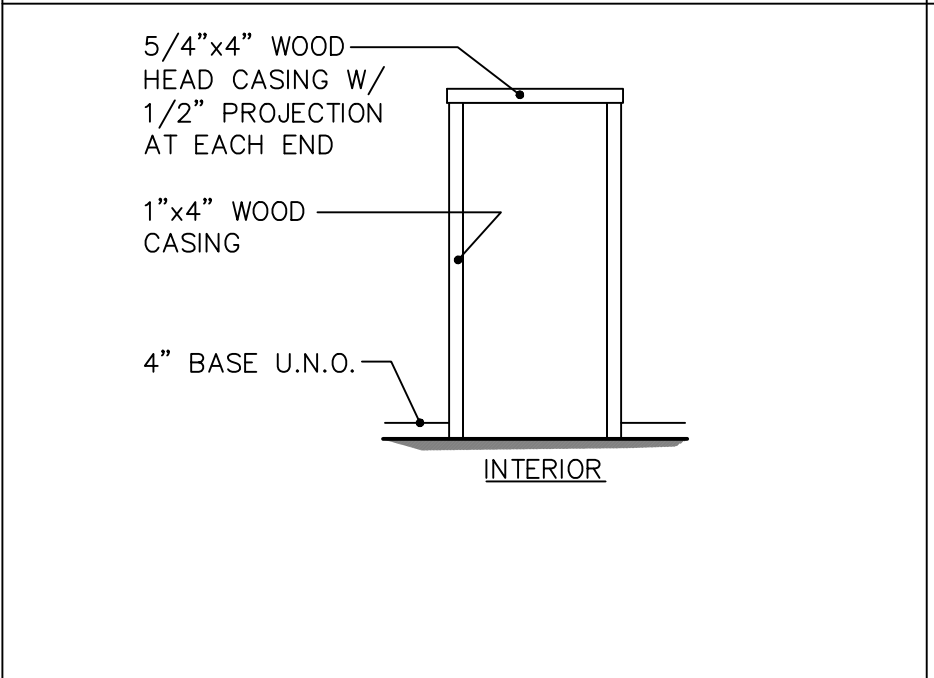
HS-2 HINGES
LEVER LOCKSET (OFFICE FUNCTION)

HS-3 LEVER HARDWARE (REPLACEMENT IN EXISTING DOOR PANEL)

HS-4 LEVER LOCKSET WITH SINGLE ACTION DEADBOLT
(NOTE: DOOR MUST OPEN WITH SINGLE ACTION FROM INTERIOR SIDE)
SURFACE MOUNTED CLOSER
ACCESSIBLE THRESHOLD
WEATHERSTRIPPING

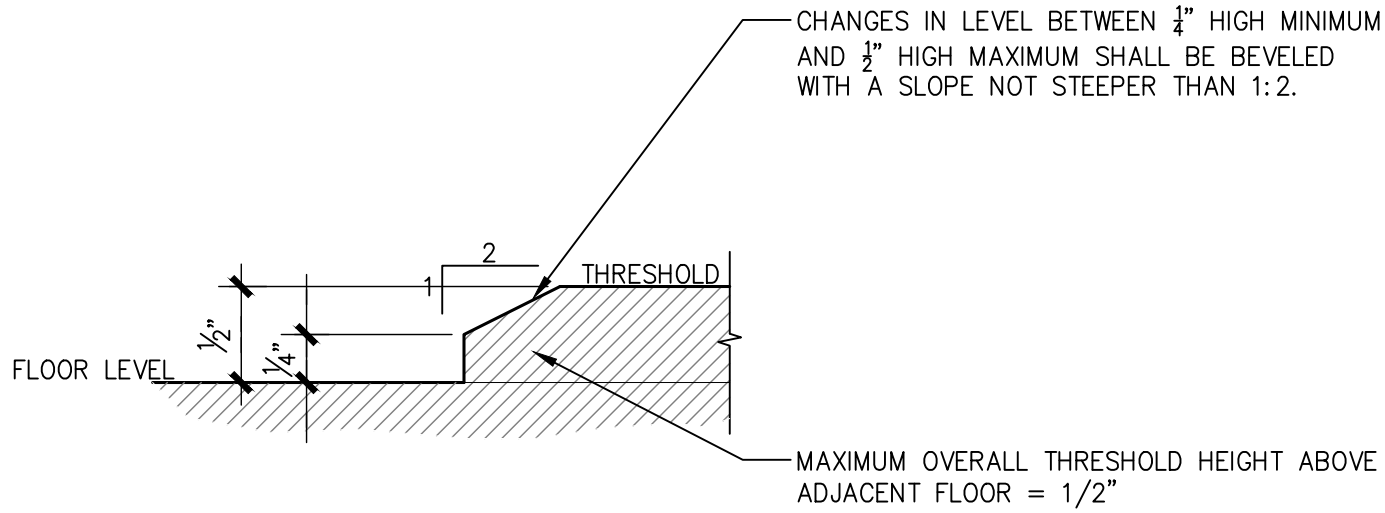
NOTE: VERIFY HARDWARE FINISH WITH OWNER.

TYP. WOOD DOOR TRIM:



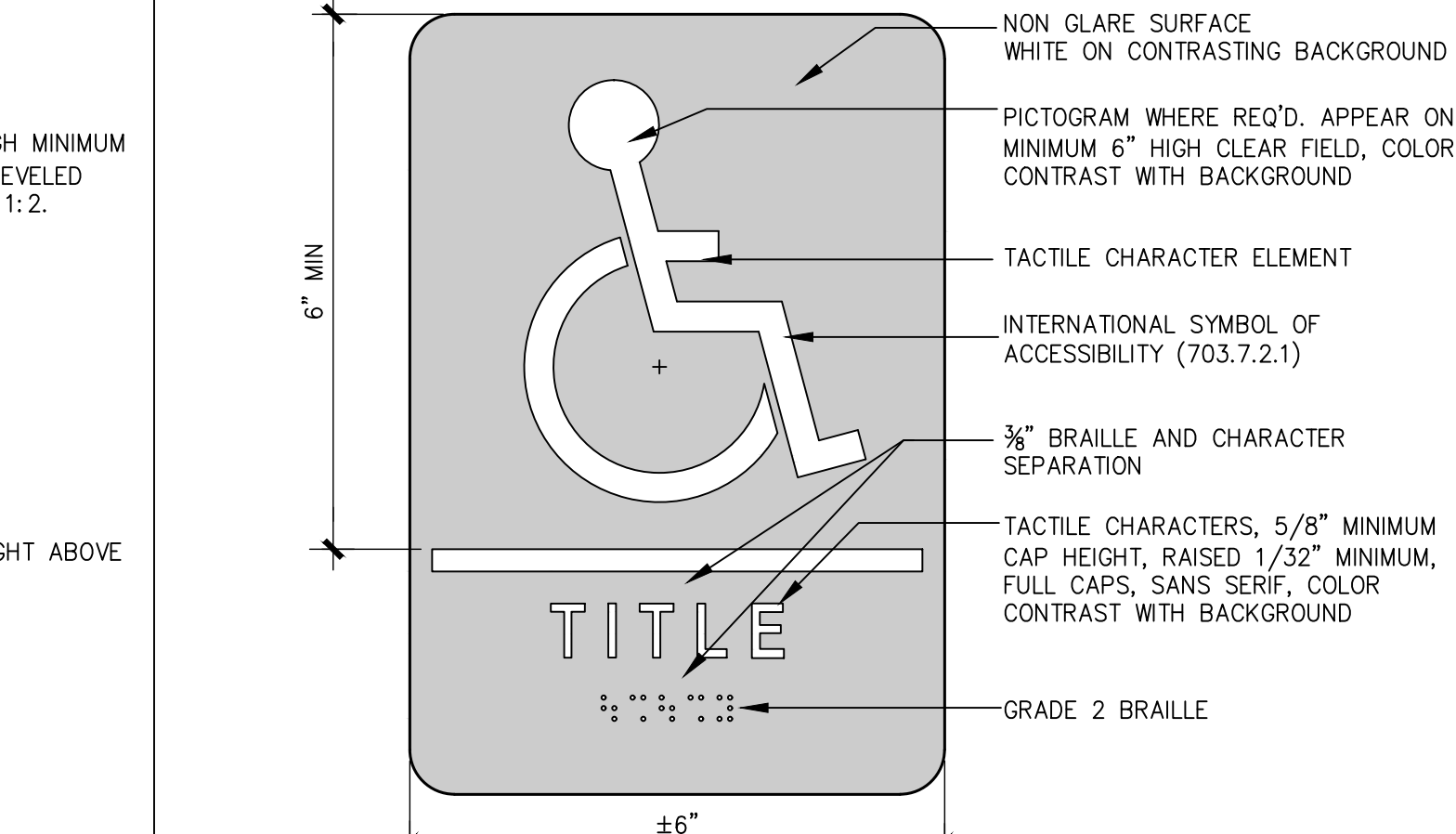
DOOR GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES WITH DOOR SUPPLIER PRIOR TO CONSTRUCTION.
- DOOR SUPPLIERS SHALL PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- INSTALL PER DOOR MANUFACTURER'S RECOMMENDATIONS (NOTIFY ARCHITECT OF DISCREPANCIES).
- DOOR SWINGS / HANDING PER PLANS.
- ALL EXTERIOR GLAZING TO BE DOUBLE PANE & LOW-E HIGH PERFORMANCE GLAZING.
- NEW EXTERIOR DOOR TO HAVE INTEGRAL WEATHERSTRIPPING, ACCESSIBLE THRESHOLD, AND NON-REMOVABLE HINGE PINS.
- VERIFY ALL KEYING / MASTER KEY REQUIREMENTS WITH OWNER.
- COORDINATE SECURITY REQUIREMENTS ON ALL DOORS / WINDOWS WITH SECURITY SERVICE PROVIDER.
- ALL DOOR HARDWARE TO BE ACCESSIBLE. DOOR CLOSERS TO MEET ACCESSIBILITY REQUIREMENTS FOR CLOSING SPEED AND FORCE. REFER TO ADA/ ICC ANSI A117.1 SECT 404.2.8 & 404.2.9 FOR REQUIREMENTS.



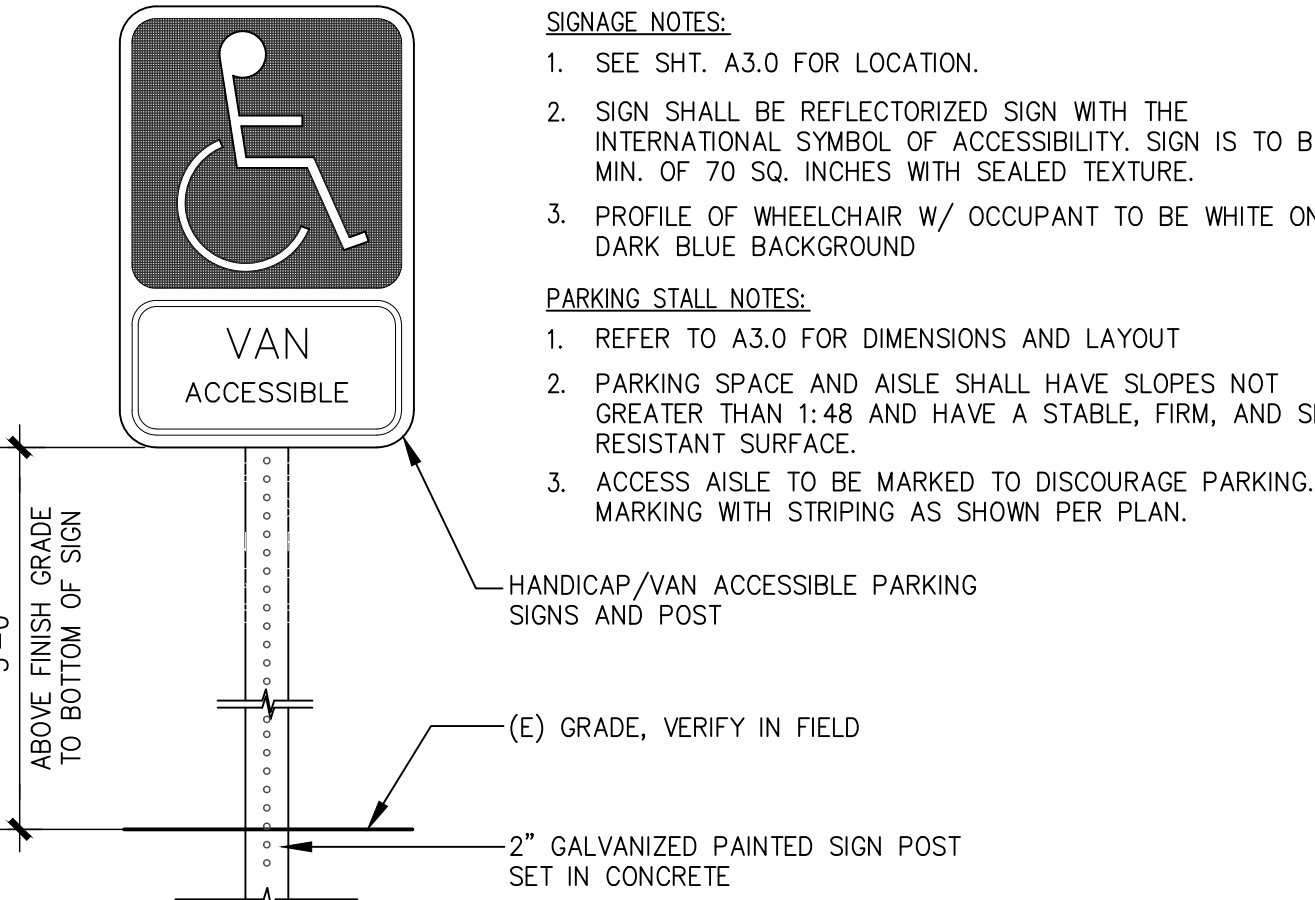
4 ACCESSIBLE SILL

SCALE: 3/4"=1'-0"



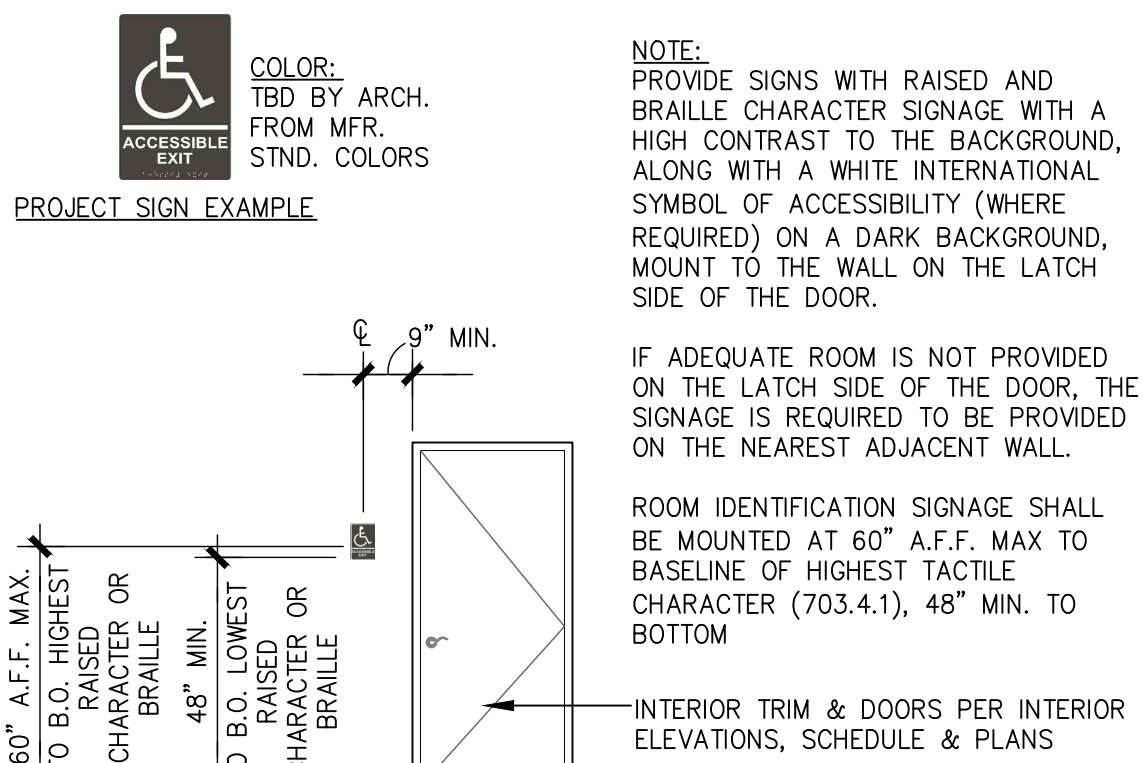
2 ACCESSIBLE SIGNAGE DETAIL

SCALE: 6"=1'-0"



3 ACCESSIBLE PARKING - SIGN / STALL

SCALE: 1/4"=1'-0"



1 ADA / ANSI SIGNAGE

SCALE: 1/4"=1'-0"

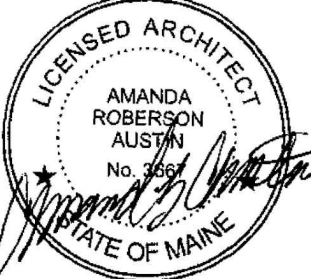


architects, llc

280 West Street, Suite B (Office)
P.O. Box 189 (Mailing)
Rockport, Maine 04856

Tel: 207.236.6545
Web: www.2Aarch.com
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Registration:



Project:

Temporary
Northport Town Office
8 Beech Hill Road
Northport, ME 04849

Client Community

Consultant:

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Project Start Date: April 2018

Project Number: 23-108

Sheet Title:

DOOR / HARDWARE SCHEDULES & DETAILS

Sheet Plot Date:
09/09/2026 A7.0_Schedule_Details_8Beech.dwg

Sheet Number:

A7.0