


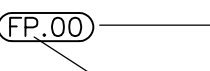
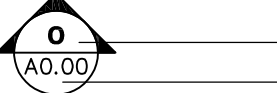
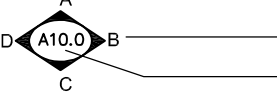

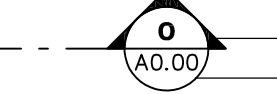
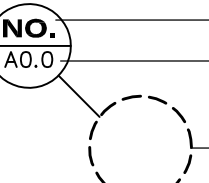
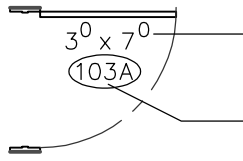
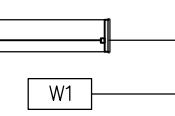
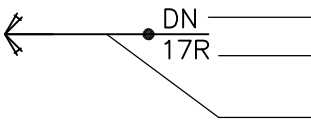
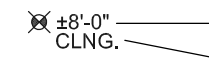
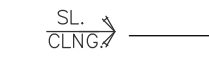

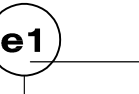
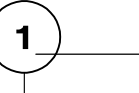




Abbreviations:

< @ #	ANGLE AT NUMBER, POUNDS
ABV AFF ACC AC ACT ADD ADJ AHJ ALT ALUM ANOD APPROX ARCH AVG	ABOVE ABOVE FINISH FLOOR ACCESS AIR CONDITIONING ACOUSTIC TILE ADDENDUM ADJUST, ADJUSTABLE AUTHORITY HAVING JURISDICTION ALTERNATE, ALTERNATIVE ALUMINUM ANODIZED APPROXIMATE ARCHITECT, ARCHITECTURAL AVERAGE
BSMT BSBL BM BLW BTWN BLK BTM BLDG	BASEMENT BUILDING SETBACK LINE BEAM BELOW BETWEEN BLOCK, BLOCKING BOTTOM BUILDING
CAB CSMT CIP CLG CL CLR COL CONC CMU CONST CONT CONTR CJ CORR CFM	CABINET CASEMENT CAST IN PLACE CEILING CENTERLINE CLEAR, CLEARANCE COLUMN CONCRETE CONCRETE MASONRY UNITS CONSTRUCTION CONTINUOUS CONTRACTOR, CONTRACT CONTROL JOINT CORRUGATED CUBIC FEET PER MINUTE
DBL DD DTL DIAG DIA DN DR DW DWG	DOUBLE DETAIL DIAGONAL DIAMETER DIMENSION, DIMENSIONAL DOWN DOOR DISHWASHER DRAWING
EA EF EJ E ELEC EL ELEV EMER ENCL EQ EQP EST EXH (E) EXT	EACH EXHAUST FAN EXPANSION JOINT EAST ELECTRIC, ELECTRICAL ELEVATION ELEVATOR EMERGENCY ENCLOSURE, ENCLOSE EQUAL EQUIPMENT ESTIMATE, ESTIMATED EXHAUST EXISTING EXTERIOR
FOF FD FIN FE FP FR FLR FJ FTG FND FUR FT	FACE OF FINISH FLOOR DRAIN FINISH, FINISHED FIRE EXTINGUISHER FIREPROOF, FIREPLACE FIRE RESISTANT FLOOR FINISH JOINT FOOTING FOUNDATION FURRING FOOT, FEET
GA GLV GSKT GC GL GLB GRD GF GWB	GAGE, GAUGE GALVANIZE, GALVANIZED GASKET GENERAL CONTRACTOR GLASS, GLAZE, GLAZING GLASS BLOCK GRADE GROUND FACE GYPSUM WALLBOARD
H HDW HDR HIST HJ HVAC	HIGH HARDWARE HEADER HISTORIC HEAD JOINT HEATING, VENTILATION & AIR CONDITIONING
MFR MAS MO MTL MAX MECH MED MAT MHPC  MIN MIR MISC MUBEC	MANUFACTURER MASONRY MASONRY OPENING METAL MAXIMUM MECHANICAL MEDIUM MATERIAL MAINE HISTORICAL PRESERVATION COMMISSION MINIMUM MIRROR MISCELLANEOUS MAINE UNIFORM BUILDING AND ENERGY CODE
NI NIC NTS NTSV	NORTH NOT IN CONTRACT NOT TO SCALE NATURAL THIN STONE VENEER
OC OPQ OPG OPP OD OH OFCI OFOI	ON CENTER OPaque OPENING OPPOSITE OUTER DIAMETER OVERHEAD OWNER FURNISHED – CONTRACTOR INSTALLED OWNER FURNISHED – OWNER INSTALLED
PNT PLL PKG PAV PED PERF PLAM PL PLY PVC PCF PLF PSF PSI PFB PFN PROP	PAINT PARALLEL PARKING PAVE, PAVERS, PAVEMENT PEDESTAL, PEDESTRIAN PERFORATE, PERFORATED PLASTIC LAMINATE PLATE PLYWOOD POLYVINYL CHLORIDE POUNDS PER CUBIC FOOT POUNDS PER LINEAR FOOT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PREFABRICATED PREFINISHED PROPERTY LINE
R RAD REF REFR REINF RA RVS RH RHT ROW RO RM RF	RISER, RISERS RADIUS REFERENCE REFRIGERATOR REINFORCE, REINFORCEMENT RETURN AIR REVERSE RIGHT HAND RIGHT OF WAY ROOF DRAIN ROUGH OPENING ROOM ROOM
SF SBK SFRM SCH SLNT SEC SHT SIM SC SOG SP S SQ SS STD STL STOR SD STR SYM SYS SYSB	SQUARE FEET SETBACK SPRAY APPLIED FIRE RESISTIVE MATERIAL SCHEDULE SEALANT SECTION SHEET SIMILAR SOLID CORE SLAB ON GRADE SOUND PROOF SOUTH SQUARE STAINLESS STEEL STANDARD STEEL STORE, STORAGE SMOKE DETECTOR STRUCTURAL SYMMETRIC SYSTEM SIDE YARD SETBACK
TEL TV THK TBD TOL T&G TYP	TELEPHONE TELEVISION THICKNESS TO BE DETERMINED TOLERANCE TONGUE & GROOVE TYPICAL
UNO UL	UNLESS NOTED OTHERWISE UNDERWRITER'S LABORATORY
VJ VB VIF VERT VG VIN VCT VTO	V-JOINT VAPOR BARRIER VERIFY IN FIELD VERTICAL VERTICAL GRAIN VINYL VINYL TILE VENT TO OUTSIDE
WTW WH WC W WD W/D W WIN WO WIC WP	WALL TO WALL WALL HUNG WATER CLOSET WEST WOOD WASHER/DRYER WIDE, WIDTH WINDOW WITHOUT WALK-IN CLOSET WATERPROOF

Symbol Legend:

ROOM NAME & KEY NOTE SYMBOLS:	
	ROOM NAME REFERENCE ROOM NAME ROOM NUMBER GENERAL FLOOR MATERIAL ON FLOOR PLANS GENERAL CEILING MATERIAL ON CEILING PLANS
	KEY PLAN SYMBOL & REFERENCE NUMBER KEY PLAN REFERENCE NUMBER, REFER TO LEGEND ON SHEET INDICATES PLAN REFERENCE & VARIES ON SHEET TYPES: "FP" FLOOR PLAN, "EL" ELEVATION & "BS" BUILDING SECTION
ELEVATION SYMBOLS:	
	EXTERIOR ELEVATION REFERENCE ELEVATION REFERENCE NUMBER SHEET NUMBER WERE PLAN OR DETAIL IS SHOWN ON
	INTERIOR ELEVATION REFERENCE ELEVATION REFERENCE NUMBER SHEET NUMBER WERE PLAN OR DETAIL IS SHOWN ON
DETAIL & SECTION SYMBOLS:	
	BUILDING SECTION REFERENCE SECTION REFERENCE NUMBER SHEET NUMBER WERE PLAN OR DETAIL IS SHOWN ON
	WALL SECTION REFERENCE SECTION REFERENCE NUMBER SHEET NUMBER WERE PLAN OR DETAIL IS SHOWN ON
	ENLARGED PLAN OR DETAIL REFERENCE TAG REFERENCE NUMBER SHEET NUMBER WERE PLAN OR DETAIL IS SHOWN ON INDICATES GENERAL AREA OF ENLARGED PLAN OR DETAIL, SHAPE VARIES
TAG SYMBOLS:	
	DOOR REFERENCE TAG GENERAL DOOR SLAB SIZE: WIDTH IN FEET AND INCHES FOLLOWED BY HEIGHT IN FEET AND INCHES DOOR NUMBER REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
	WINDOW REFERENCE TAG WINDOW SYMBOL WINDOW NUMBER REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
	STAIR REFERENCE TAG INDICATES STAIR DIRECTION, UP OR DOWN INDICATES NUMBER OF RISERS INDICATES STAIR DIRECTION
	SPOT ELEVATION TAG INDICATES HEIGHT ABOVE FLOOR OR SPOT ELEVATION CEILING, GRADE, KNEE WALL, COUNTER OR OTHER REFERENCE
	SLOPED CEILING REFERENCE TAG INDICATES SLOPE OF CEILING
	ADDENDUM REFERENCE TAG REVISION CLOUD INDICATES GENERAL AREA OF REVISION INDICATES ADDENDUM REVISION NUMBER
GRID SYMBOLS:	
	EXISTING GRID COLUMNS AT FIRE STATION "e" INDICATES EXISTING COLUMN GRID FOLLOWED BY COLUMN NUMBER OR LETTER NOTE: EXISTING COLUMN GRIDS INDICATE FACE OF EXISTING FINISH ON EXTERIOR SIDE U.N.O.
	GRID COLUMNS AT ADDITION NUMBER INDICATES ADDITION COLUMN GRID (NORTH / SOUTH) LETTER INDICATES ADDITION COLUMN GRID (EAST / WEST) NOTE: ADDITION COLUMN GRIDS INDICATE FACE OF STUD FRAMING ON EXTERIOR SIDE U.N.O.

General Energy Code Notes:

CLIMATE ZONE:	6A
OPTION METHOD TO MEET INTL. ENERGY CONSERVATION CODE (IECC 2021):	
COMcheck SOFTWARE (BASED ON IECC 2021) WAS USED TO DEMONSTRATE COMPLIANCE. REFER TO BUILDING COMPLIANCE CERTIFICATES.	
COMPLIANCE REQUIREMENTS MINIMUM INSULATION:	
REFER TO BUILDING SECTIONS, WALL SECTIONS, AND DOOR/WINDOW SCHEDULE FOR MINIMUM INSULATION VALUES USED TO REACH ENERGY CODE COMPLIANCE.	
REQUIRED INSULATION REQUIREMENTS (IECC C105):	
1. CONTRACTOR TO VERIFY WITH CODE OFFICIAL ALL REQUIRED INSPECTIONS INCL. (BUT MAY NOT BE LIMITED TO): FOOTING & FOUNDATION, FRAMING & ROUGH-IN, PLUMBING ROUGH-IN, MECH. / ELECT. ROUGH-IN & FINAL INSPECTION.	
AIR LEAKAGE MANDATORY REQUIREMENTS (IECC C402.5):	
1. A CONTINUOUS AIR BARRIER SHALL BE PROVIDED THROUGHOUT THE BUILDING ENVELOPE. ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE MUST BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED IN AN APPROVED MANNER. <ul style="list-style-type: none"><li>ALL JOINTS, SEAMS &amp; PENETRATIONS</li><li>WINDOWS &amp; DOORS PER MFR. INSTRUCTIONS</li><li>UTILITY PENETRATIONS</li><li>ATTIC ACCESS OPENINGS</li><li>BETWEEN WALL SOLE PLATES, FLOORS AND EXTERIOR WALL PANELS</li><li>OTHER SOURCES OF INFILTRATION</li></ul>	
2. RECESSED LIGHTING FIXTURES MUST BE GASKETED OR CAULKED AND IC RATED (WHEN PENETRATING THE INSULATION) AND LABELED TO INDICATE </-2.0 CFM LEAKAGE AT 75 PA.	
GENERAL COMCHECK COMPLIANCE REQUIREMENTS:	
1. ALL MANUFACTURED EXTERIOR FENESTRATION AND DOOR PRODUCTS MUST HAVE U-FACTOR, SHGC, AND AIR LEAKAGE RATE IDENTIFIED ON THE UNIT, OR A SIGNED AND DATED CERTIFICATION.	
2. FOR BLOWN OR SPRAYED INSULATION, THE TYPE OF INSULATION, MANUFACTURER, RATED R-VALUE, INITIAL INSTALLED THICKNESS, SETTLED THICKNESS, COVERAGE AREA, AND NUMBER OF BAGS USED MUST BE POSTED AT THE JOB SITE.	
3. ALL INSULATION REQUIREMENTS ASSUME THE INSULATION IS INSTALLED AT ITS STANDARD THICKNESS. IF INSULATION IS COMPRESSED, THE R-VALUE IS REDUCED AND THE BUILDING MAY NOT MEET THE REQUIREMENTS.	
4. RECESSED LIGHTS, EQUIPMENT AND DUCTS SHALL NOT AFFECT INSULATION THICKNESS.	
5. AUTOMATIC OR GRAVITY DAMPERS SHALL BE INSTALLED ON ALL OUTDOOR INTAKE EXHAUSTS.	
6. ALL AIR SEALING, INSULATION & OTHER PRODUCTS TO BE INSTALLED PER MFR.	
7. BLOWN INSULATION SHALL BE DEPTH MARKED EVERY 300 SF MIN PER MFR.	
8. NEW ATTIC ACCESS DOORS SHALL HAVE THE SAME R-VALUE AS ATTIC THEY ARE PENETRATING.	
9. BLOWER DOOR TESTING TO BE PERFORMED FOR PROJECT.	

General Notes:

01. GENERAL NOTES APPLY TO ALL DRAWINGS.
02. REFER TO WRITTEN SPECIFICATIONS MANUAL (8.5 X 11 SHEETS). ANY CONFLICT BETWEEN THE DRAWING PLANS AND SPECIFICATIONS MANUAL WILL BE INTERPRETED BY THE ARCHITECT THROUGH THE AIA "REQUEST FOR INFORMATION" OR "ARCHITECTS SUPPLEMENTAL INSTRUCTION" DOCUMENT PROCESS AS MANAGED BY THE CONTRACTOR.
03. ALL SPECIFIED PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.
04. IF PRODUCT SPECIFICATIONS CHANGE OR SUBSTITUTIONS ARE MADE THE ASSOCIATED DETAILS MAY CHANGE AS WELL. SUBMIT ALL SUBSTITUTIONS TO ARCHITECT FOR REVIEW AND COORDINATION.
05. THERE SHALL BE NO DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THEREOF, THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD THE ARCHITECT HARMLESS FROM ANY CLAIMS ARISING AS A RESULT OF UNAPPROVED CHANGES.
06. WHERE ITEMS OR DEVICES OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH SHALL APPLY TO AS MANY SUCH ITEMS, DEVICES OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK.
07. DO NOT SCALE DRAWINGS (WRITTEN DIMENSIONS GOVERN).
08. ALL ITEMS MARKED "N.I.C." OR "BY OTHERS" ARE NOT IN CONTRACT.
09. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAIL SHALL BE THE SAME FOR OTHER SIMILAR WORK. IF QUESTIONS CANNOT BE RESOLVED IN THIS MANNER, CONTACT THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
10. A FULL SET OF APPROVED PLANS, SPECIFICATIONS, REVISIONS, ADDENDA AND CHANGE ORDERS SHALL BE KEPT ON THE PREMISES UNDER THE CARE OF THE JOB SUPERINTENDENT AT ALL TIMES FOR REFERENCE. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION.
11. CONTRACTOR TO PROVIDE A REPRODUCEABLE AS BUILT RECORD PLAN SET DOCUMENTING DESIGN MODIFICATIONS. INCLUDE BIDDER-DESIGNED SYSTEM DRAWINGS. SUBMIT FINAL AS-BUILT RECORD SET TO ARCHITECT AND OWNER.
12. SUBCONTRACTORS SHALL KEEP THE CONSTRUCTION SITE IN A NEAT AND ORDERLY CONDITION AND SHALL REMOVE RUBBISH / RECYCLE DAILY OR AS DIRECTED BY THE OWNER/ CONSTRUCTION MANAGER. MATERIALS SHALL BE STORED IN AREAS APPROVED BY THE OWNER.
13. THE CONTRACTOR SHALL CLOSELY COORDINATE THEIR WORK SCHEDULE WITH THE OWNER, ARCHITECT, SUBCONTRACTORS, AND BIDDER-DESIGNERS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED SAFETY PRECAUTIONS (WORKERS, EMPLOYEES & PUBLIC), MEANS AND METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES TO EXECUTE THE WORK.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE SECURITY OF THE SITE AND BUILDINGS WHILE THE JOB IS IN PROGRESS.
16. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR WORKERS.
17. CONTRACTOR SHALL REQUEST VERIFICATION FROM UTILITIES COMPANIES OF UNDERGROUND UTILITY LOCATIONS PRIOR TO BEGINNING EXCAVATIONS.
18. SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING DEMO, GRADING, TRENCHING, FOUNDATION OR OTHER WORK, CONTACT ARCHITECT FOR INSTRUCTIONS PRIOR TO CONTINUATION OF WORK.
19. CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ALL PROPERTY LINES, BUILDING CORNERS, AND SETBACKS CLEARLY MARKED BY SURVEYOR PRIOR TO START OF CONSTRUCTION.
20. REFER TO CONSULTANT DRAWINGS (CIVIL, STRUCTURAL, MECHANICAL / PLUMBING, ELECTRICAL, AND FIRE PROTECTION) FOR ADDITIONAL GENERAL NOTES.
21. BUILDING DEMOLITION: THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED THERETO CONFORM WITH ALL LOCAL, REGIONAL, STATE, AND/OR FEDERAL REGULATIONS PERTAINING TO DISTURBING, DISPLACING, AND/OR REMOVAL OF ASBESTOS CONTAINING MATERIALS (ACM), LEAD PAINTED MATERIALS, OR OTHER HAZARDOUS MATERIALS. REFER TO HAZARDOUS MATERIAL REPORT FOR TOWN OFFICE IN SPECIFICATION BOOK APPENDIX.



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Registration:



Project:

Northport  
Town Office / Fire Station  
16 Beech Hill Road  
Northport, ME 04849

Consultant:

Sheet Size:  
24" x 36" Paper Size  
Sheet Issue Date:  
Consultant Review 8/8/24  
Client Review 10/17/24  
Design Development 11/15/24  
Construction Documents 2/28/25

Project Start Date:

April 2018

Project Number:

23-108

Sheet Title:

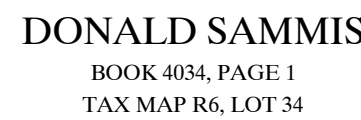
ARCHITECTURAL  
GENERAL NOTES  
& INFORMATION

Sheet Plot Date:  
03/05/2025 A0.0 Cover\_NTO.dwg

Sheet Number:

A0.1





DONALD SAMMIS  
BOOK 4034, PAGE 1  
TAX MAP R6, LOT 34

BOOK 633, PAGE 293  
BOOK 2304, PAGE 150  
BOOK 373, PAGE 257  
TAX MAP R6, LOT 1  
1.21 ACRES

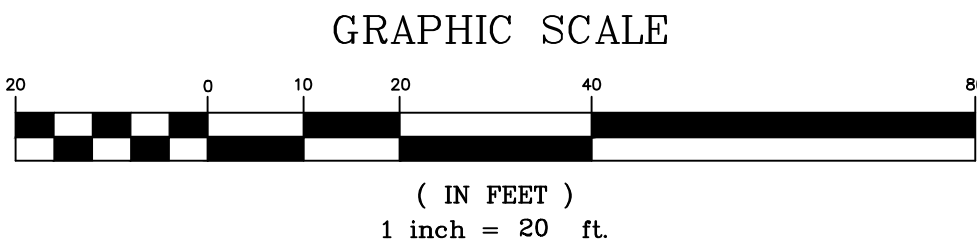
DANIEL I. SMALL JR.  
BOOK 3622, PAGE 225  
TAX MAP R6, LOT 3-1


NANCY D. BROWN  
BOOK 3680, PAGE 276  
TAX MAP R6, LOT 3

- 1) PROPERTY LINES ARE BASED ON PLAN REFERENCE # 1. RESEARCH WAS LIMITED TO THE PERIOD BETWEEN THE DATE OF PLAN REFERENCE #1 AND THE DATE OF THIS PLAN PER AGREEMENT WITH CLIENT.
- 2) ALL IRON PINS SET ARE 5/8" REBAR MARKED WITH A PLASTIC SURVEYOR'S CAP STAMPED "G4D 2290-2366-2424-2473".
- 3) ALL DIRECTIONS ARE REFERENCED TO THE MAIN COORDINATE SYSTEM OF 1983 (2011), EAST ZONE, BASED ON AN RTK GPS SURVEY. ALL DISTANCES ARE GRID DISTANCES. THE COMBINED FACTOR IS 0.99991675.
- 4) ELEVATIONS ARE REFERENCED TO NAVD 1988 BASED ON STATIC GPS OBSERVATIONS PERFORMED ON APRIL 16, 2019 AND PROCESSED THROUGH THE NATIONAL GEODETIC SURVEYS ONLINE POSITIONING USER SERVICE (OPUS). THE PUBLISHED ELEVATION OF MDOOT BM CD-1-L IS 192.15'. THE ELEVATION DETERMINED BY AND USED FOR THIS SURVEY IS 192.46'.
- 5) THIS PLAN IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED ON APRIL 16, 2019.
- 6) OWNER INFORMATION IS TAKEN FROM THE TOWN OF NORTHPORT TAX COMMITMENT DATED 2018.
- 7) BOOKS AND PAGES REFERRED TO ON THIS PLAN ARE RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS.

1) "BOUNDARY SURVEY OF TOWN OF NORTHPORT PROPERTY" BY DANIEL I. SMALL JR. DATED OCTOBER 2, 2002 AND RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS PLAN BOOK 18, PAGE 277

TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, AND IN MY PROFESSIONAL OPINION, THIS SURVEY CONFORMS TO THE STANDARDS OF PRACTICE PROMULGATED BY THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS WITH THE FOLLOWING EXCEPTIONS:  
NO WRITTEN REPORT PREPARED  
MONUMENTS WERE NOT SET AT ALL MISSING CORNERS



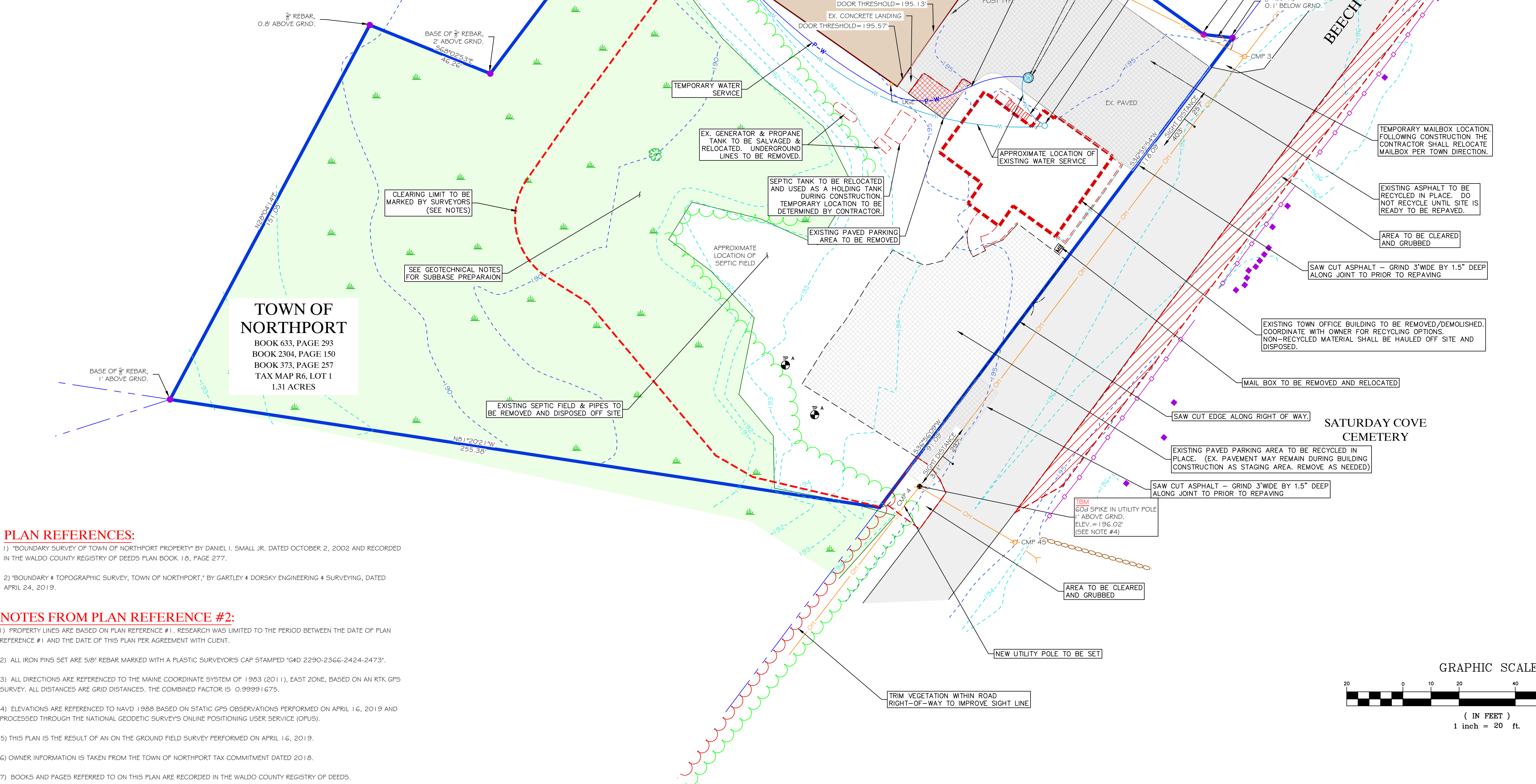
THIS PLAN PRELIMINARY 		<b>Gartley &amp; Dorsy</b> <b>ENGINEERING &amp; SURVEYING</b> 59 Union Street, Unit 1, P.O. Box 1031 Camden, ME 04843-1031 PH (207) 274-3465 Fax (207) 236-3055 Toll Free 1-888-282-4365 165 Main Street Suite 2F, P.O. Box 1072 Danverscourt, Maine 04543 Ph. (207) 790-5005		CLIENT/PROJECT <b>TOWN OF NORTHPORT</b>		SHEET TITLE <b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b>	
TOWN: NORTHPORT		COUNTY: WALDO		STATE: MAINE		SCALE: 1" = 20'	
DRAWN BY: AW, MS		CHECKED BY: JAD		DATE: APRIL 24, 2019		NO. REVISIONS	
1		TOPOGRAPHY ADDED ALONG ELY SIDE OF BEECH HILL RD		1077624		DATE	



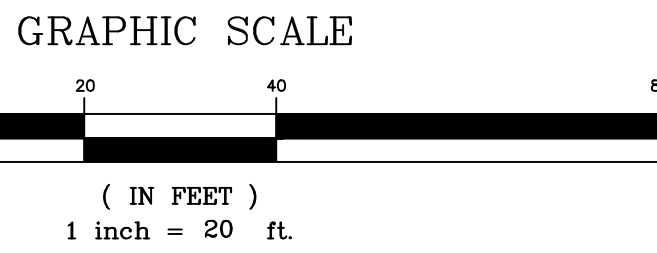
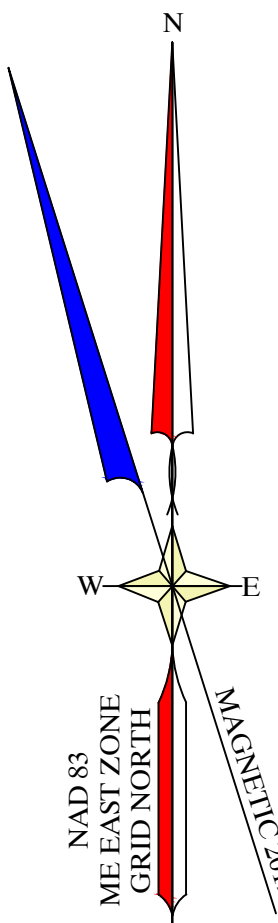
DEMO/SITE PREPARATION NOTES:

GEOTECHNICAL ENGINEER NOTES AND RECOMMENDATIONS SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

- SITE PREPARATION BEGINS WITH THE CONSTRUCTION OF AN EROSION CONTROL SYSTEM TO PROTECT ADJACENT DRAINAGE WAYS AND AREAS OUTSIDE THE CONSTRUCTION LIMITS. SURFICIAL ORGANICS, ROOTS, AND TOPSOIL SHOULD BE COMPLETELY REMOVED FROM AREAS OF PROPOSED FILL AND CONSTRUCTION. AS MUCH VEGETATION AS POSSIBLE SHOULD REMAIN OUTSIDE THE CONSTRUCTION AREAS TO LESSEN THE POTENTIAL FOR EROSION AND SITE DISTURBANCE.
- EXISTING STRUCTURES, UTILITIES, ORGANICS, AND DEBRIS MUST BE COMPLETELY REMOVED FROM BENEATH THE PROPOSED BUILDING. THE EXTENT OF REMOVAL SHOULD EXTEND 1 FOOT Laterally OUTWARD FROM OUTSIDE EDGE OF PERIMETER FOOTINGS FOR EVERY 1-FOOT OF EXCAVATION DEPTH (1H:1V BEARING SPLAY). THE UNDOCUMENTED FILLS SHOULD BE REMOVED TO A DEPTH OF ABOUT 1 FOOT BELOW THE PROPOSED BOTTOM OF FOOTING OR UNTIL NATIVE SOILS ARE ENCOUNTERED. FOLLOWING EXCAVATION, THE EXISTING FILLS REMAINING BELOW THE SLAB SHOULD BE DENSIFIED WITH A PLATE COMPACTOR WEIGHING AT LEAST 600 POUNDS. AREAS THAT APPEAR SOFT OR PUMPING SHOULD BE REMOVED AND REPLACED. THE OVER-EXCAVATED AREAS SHOULD BE BACKFILLED WITH COMPACTED GRANULAR BORROW OR STRUCTURAL FILL.
- EXCAVATIONS WILL GENERALLY ENCOUNTER UNDOCUMENTED FILLS AND SILTY CLAY SOILS. CARE MUST BE EXERCISED DURING CONSTRUCTION TO LIMIT DISTURBANCE OF THE BEARING SOILS. EARTHWORK AND GRADING ACTIVITIES SHOULD OCCUR DURING DRIER, NON-FREEZING WEATHER OF SPRING, SUMMER, AND FALL. CONSTRUCTION EQUIPMENT SHOULD NOT OPERATE DIRECTLY ON THE NATIVE SILT AND CLAYS. FINAL CUTS TO SUBGRADE SHOULD BE PERFORMED WITH A SMOOTH-EDGED BUCKET TO HELP REDUCE STRENGTH LOSS FROM SOIL DISTURBANCE.
- THE EXISTING UNDOCUMENTED GRANULAR FILL GENERALLY CONSISTS OF SILTY GRAVELLY SAND WITH FINES CONTENT OF ABOUT 13 TO 18 PERCENT. BASED ON THE COMPLETED GRADATION TESTING THE EXISTING GRANULAR FILLS APPEAR SUITABLE FOR REUSE AS GRANULAR BORROW IN BUILDING AREAS, PROVIDED THEY ARE FREE OF ANY DELETERIOUS MATERIAL (ORGANICS, WOOD, DEBRIS) AND AT A COMPACTABLE MOISTURE CONTENT AT THE TIME OF REUSE. COORDINATE WITH PROJECT REPRESENTATIVE TO DETERMINE IF SOILS ARE SUITABLE FOR REUSE.
- SUMPING AND PUMPING DEWATERING TECHNIQUES SHOULD BE ADEQUATE TO CONTROL GROUNDWATER IN EXCAVATIONS. CONTROLLING THE WATER LEVELS TO AT LEAST ONE FOOT BELOW PLANNED EXCAVATION DEPTHS WILL HELP STABILIZE SUBGRADES DURING CONSTRUCTION. EXCAVATIONS MUST BE PROPERLY SHORED OR SLOPED IN ACCORDANCE WITH OSHA REGULATIONS TO PREVENT SLOUGHING AND CAVING OF THE SIDEWALLS DURING CONSTRUCTION. CARE MUST BE TAKEN TO PRECLUDE UNDERMINING ADJACENT STRUCTURES, UTILITIES, AND ROADWAYS. THE DESIGN AND PLANNING OF EXCAVATIONS, EXCAVATION SUPPORT SYSTEMS, AND DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION ACTIVITY SHOULD BE LIMITED DURING WET AND FREEZING WEATHER AND THE SITE SOILS MAY REQUIRE DRYING OR THAWING BEFORE CONSTRUCTION ACTIVITIES MAY CONTINUE. THE CONTRACTOR SHOULD ANTICIPATE THE NEED FOR WATER TO TEMPER FILLS IN ORDER TO FACILITATE COMPACTION DURING DRY WEATHER. IF CONSTRUCTION TAKES PLACE DURING COLD WEATHER, SUBGRADES, FOUNDATIONS AND FLOOR SLABS MUST BE PROTECTED DURING FREEZING CONDITIONS. CONCRETE AND FILL MUST NOT BE PLACED ON FROZEN SOIL; AND ONCE PLACED, THE CONCRETE AND SOIL BENEATH THE STRUCTURE MUST BE PROTECTED FROM FREEZING.
- PRIOR TO CONSTRUCTION THE TOWN WILL MARK THE CLEARING LIMITS/PERMITTED WETLAND IMPACT AREAS AND PROVIDE THE CONTRACTOR WITH SURVEY CONTROL INFORMATION. ANY ADDITIONAL SURVEYING SERVICES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. G&D WILL PROVIDE SERVICES FOR THE CONTRACTOR AT THEIR REQUEST.



LEGEND	
	SURVEYED PROPERTY LINE
	APPROXIMATE PROPERTY LINE
	5' PARKING SETBACK
	IRON ROD FOUND
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	EXISTING UTILITY POLE
	EXISTING GUY ANCHOR
	EXISTING OVERHEAD UTILITY LINE
	EXISTING BELOW GROUND ELECTRIC (APPROXIMATE LOCATION)
	EXISTING ELECTRIC METER
	PROPOSED UTILITY POLE
	PROPOSED UNDERGROUND UTILITY LINE
	EXISTING SIGN
	EXISTING MAIL BOX
	PROPOSED STORMWATER PIPE
	PROPOSED STORMWATER CATCH BASIN
	PROPOSED UNDERDRAIN
	SEPTIC SYSTEM TEST PIT
	PROPOSED SANITARY GRAVITY LINE
	PROPOSED SANITARY FORCE MAIN
	EXISTING UNDERGROUND WATER LINE (APPROXIMATE LOCATION)
	PROPOSED WATER LINE
	EXISTING GRAVESTONE
	EXISTING METAL FENCE
	PROPOSED UNDERGROUND PROPANE LINE
	EXISTING VEGETATION
	EXISTING WETLANDS
	PROPOSED IMPACTED WETLAND
	PROPOSED SEDIMENT BARRIER



PLAN REFERENCES:

- "BOUNDARY SURVEY OF TOWN OF NORTHPORT PROPERTY" BY DANIEL I. SMALL JR., DATED OCTOBER 2, 2002 AND RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS PLAN BOOK 16, PAGE 277.
- "BOUNDARY & TOPOGRAPHIC SURVEY, TOWN OF NORTHPORT," BY GARTLEY & DORSKY ENGINEERING & SURVEYING, DATED APRIL 24, 2019.

NOTES FROM PLAN REFERENCE #2:

- PROPERTY LINES ARE BASED ON PLAN REFERENCE #1. RESEARCH WAS LIMITED TO THE PERIOD BETWEEN THE DATE OF PLAN REFERENCE #1 AND THE DATE OF THIS PLAN PER AGREEMENT WITH CLIENT.
- ALL IRON PINS SET ARE 5/8" REBAR MARKED WITH A PLASTIC SURVEYOR'S CAP STAMPED "G4D 2290-2366-2424-2473".
- ALL DIRECTIONS ARE REFERENCED TO THE MAINE COORDINATE SYSTEM OF 1983 (2011), EAST ZONE, BASED ON AN RTK GPS SURVEY. ALL DISTANCES ARE GRID DISTANCES. THE COMBINED FACTOR IS 0.99991675.
- ELEVATIONS ARE REFERENCED TO NAVD 1988 BASED ON STATIC GPS OBSERVATIONS PERFORMED ON APRIL 16, 2019 AND PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING USER SERVICE (OPUS).
- THIS PLAN IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED ON APRIL 16, 2019.
- OWNER INFORMATION IS TAKEN FROM THE TOWN OF NORTHPORT TAX COMMITMENT DATED 2016.
- BOOKS AND PAGES REFERRED TO ON THIS PLAN ARE RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS.

SHEET TITLE: DEMOLITION & SITE PREPARATION PLAN		DRAWN BY: LP		CHECKED BY: AH		DATE: FEBRUARY 28, 2025		NO.		REVISIONS		DATE			
CLIENT/PROJECT: NORTHPORT TOWN OFFICE / FIRE STATION		LOCATION: 16 BEECH HILL ROAD		TOWN: NORTHPORT		COUNTY: WALDO		STATE: MAINE							
2A architects, llc 280 West Street, Suite B (Office) P.O. Box 189 (Mailing) Rockport, Maine 04856 Tel: 207.236.6545 Web: www.2Aarch.com ©Copyright 2010, 2A architects llc												PROJ. NO. 2018-061		C0	



CONSTRUCTION NOTES:

- ALL CONSTRUCTION MUST COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL LAWS.
- CONTRACTOR SHALL CONTACT DIG SAFE, AND COORDINATE WITH THE TOWN, UTILITY COMPANIES, AND EMERGENCY SERVICES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGED UTILITIES DURING CONSTRUCTION.
- ALL DISTURBED SLOPES BETWEEN 3:1 AND 2:1 SHALL BE STABILIZED WITH AMERICAN EXCELSIOR CURLEX I EROSION CONTROL BLANKET OR EQUAL. SLOPES GREATER THAN 2:1 SHALL BE STABILIZED WITH AMERICAN EXCELSIOR CURLEX II OR EQUAL. SLOPES GREATER THAN 1:5:1 SHALL BE STABILIZED WITH RIPRAP PER ENGINEER.
- ALL DISTURBED SOILS SHALL BE LOAMED (4" MIN.), SEEDED AND MULCHED.
- ALL DISTURBED GRAVEL AND PAVEMENT SHALL BE RESTORED TO ORIGINAL CONDITIONS.
- EROSION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH THE LATEST VERSION OF "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES".
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE NOT EXACT, NOR CAN IT BE ASSUMED THAT ALL EXISTING UTILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SAFE TRAFFIC FLOW THROUGH THE CONSTRUCTION AREA AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ALL NECESSARY PRECAUTIONS TO CLEAN INADVERTENT EQUIPMENT FLUID DISCHARGE IN OR NEAR ANY WATER COURSE.
- ALL EXISTING FEATURES (TREES, SIGNS, ETC.) SHALL BE PROTECTED DURING CONSTRUCTION, OR RESTORED PRIOR TO COMPLETION OF THE PROJECT. THERE IS NO ADDITIONAL CHARGE TO OWNER FOR BRACING OF UTILITY POLES.
- ALL EXISTING PLANTINGS SHALL BE PROTECTED OR PRESERVED (TRANSPLANT AND/OR RELOCATED) TO THE GREATEST EXTENT POSSIBLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WORK SITE SAFETY DURING WORKING AND NON-WORKING HOURS. APPROPRIATE SIGNAGE AND BARRIERS SHALL BE USED DURING THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING PROJECT DESIGN PER CONSTRUCTION DRAWINGS.
- CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A WATER MANAGEMENT PLAN, IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL PERMITS PREVIOUSLY OBTAINED.
- ALL EXISTING SIGNS SHALL BE RESET FOLLOWING CONSTRUCTION.
- ENTRANCE SLABS AND SIDEWALKS ADJACENT TO THE BUILDING MUST HAVE NON-FROST SUSCEPTIBLE STRUCTURAL FILL TO A DEPTH OF AT LEAST 4.5 FEET BELOW THE TOP OF ENTRANCE SLABS.
- THE FINDINGS AND RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT, FOR THIS PROJECT, SHALL BE INTEGRATED AND FOLLOWED DURING CONSTRUCTION. IF A CONFLICT ARISES BETWEEN THIS PLAN (PLAN SET) AND THE GEOTECHNICAL REPORT THE CONTRACTOR SHALL REPORT SUCH DISCREPANCIES TO THE PROJECT ENGINEER AND PROCEED WITH THE GEOTECHNICAL REPORTS RECONDITIONS UNLESS DIRECTED SPECIFICALLY BY THE PROJECT ENGINEER.
- NOTE THIS PROJECT SHALL BE A "BUY AMERICAN, BUILD AMERICAN" COMPLIANT PROJECT.
- ROOF DOWNSPOUTS TO BE TIED INTO DRIP APRON UNDERDRAINS (SEE DETAIL).
- PROPOSED UTILITIES SHOWN FOR SCHEMATIC PURPOSES. SEE ELECTRICAL SITE PLAN.

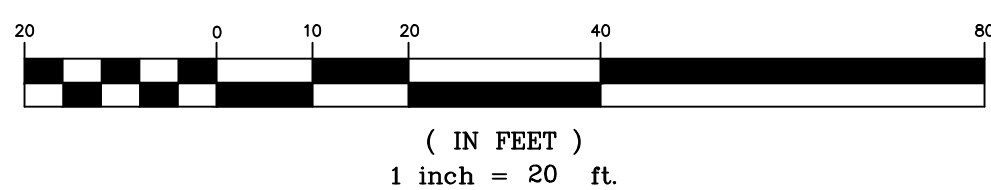
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- OWNER INFORMATION IS TAKEN FROM THE TOWN OF NORTHPORT TAX COMMITMENT DATED 2018.
- BOOKS AND PAGES REFERRED TO ON THIS PLAN ARE RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS.

GRAPHIC SCALE



LEGEND	
	SURVEYED PROPERTY LINE
	APPROXIMATE PROPERTY LINE
	5' PARKING SETBACK
	IRON ROD FOUND
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED CONTOUR
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	PROPOSED WATER LINE
	EXISTING GRAVESTONE
	EXISTING METAL FENCE
	EXISTING VEGETATION
	EXISTING WETLANDS
	EXISTING DRAINAGE FLOW
	PROPOSED DRAINAGE FLOW

SHEET TITLE: SITE PLAN		DRAWN BY: LP		CHECKED BY: AH		DATE: FEBRUARY 28, 2025		NO.		REVISIONS		DATE	
CLIENT/PROJECT: NORTHPORT TOWN OFFICE / FIRE STATION		LOCATION: 16 BEECH HILL ROAD		TOWN: NORTHPORT		COUNTY: WALDO		STATE: MAINE		SCALE: 1" = 20'		DATE: FEBRUARY 28, 2025	
Gartley & Dorsky ENGINEERING & SURVEYING		50 Union Street, Unit 1, Camden, ME 04843 Ph. (207) 236-4365 • Fax (207) 236-3055 • Toll Free (888) 282-4365		277 Main Street, Suite 4, Bangor, Maine 04543 Ph. (207) 790-5005		PROJ. NO. 2018-061		C1		architects, llc		280 West Street, Suite B (Office) P.O. Box 189 (Mailing) Rockport, Maine 04856 Tel: 207.236.6545 Web: www.2Aarch.com ©Copyright 2010, 2A architects llc	