

**LETTER OF TRANSMITTAL**

**PROJECT NO. #** 2018-061

**DATE:** December 20, 2024

**TO:** Town of Northport  
16 Beech Hill Rd.  
Northport, ME

**RE:** Site Plan Review Submission  
Town of Northport  
Town Office Project  
Northport, ME

WE ARE SENDING YOU

☒ enclosed

☐ under separate cover

☒ Prints

☐ Mylar

☐ Deed description

☐ Proposal

☐ Billing

☐ Letter

☐ Report

☐ Copy of letter

☐ HHE 200

☒ Application

COPIES	DATE	DESCRIPTION
8	December 20, 2024	Site Plan Review Submission for Planning Board
1	December 20, 2024	Site Plan Review Submission for James Kossuth- Town Administrator

**THESE ARE TRANSMITTED AS CHECKED BELOW:**

☐ As requested

☒ For your use

☐ For approval

☐ For Review and Comment

☐ Return with Corrections


☐ Other

**REMARKS:**

If you have any questions please call me at 236-4365. Thank you

Sincerely,

**Gartley & Dorsky Engineering & Surveying Inc.**



Sarah Post  
Permitting Specialist

**TOWN OF NORTHPORT  
16 BEECH HILL RD., NORTHPORT, ME  
TOWN OFFICE AND FIRESTATION PROJECT  
SITE PLAN REVIEW APPLICATION**

**SUBMISSION LIST  
December 20, 2024**

<u>Description of Document</u>	<u>Document Date</u>
1. Cover Letter with written description	December 20, 2024
2. Site Plan Review Application	December 20, 2024
3. Submission Requirements, Approval Standards and Criteria Responses	December 20, 2024
4. Deeds: Book 633, Page 293 Book 2304, Page 150	March 3, 1966 June 9, 2003
5. Location Map	August 22, 2024
6. Photos	June 2023
7. Subsurface Wastewater Disposal System Application (HHE-200)-draft	November 12, 2024
8. IPaC and NLEB Determination	March 6, 2024 October 4, 2024
9. Maine IF&W Deer Wintering Areas	December 17, 2024
10. Maine Historic Letter	December 17, 2024
11. Tax Map R6	April 1, 2016
12. FEMA FIRM	December 12, 2024
13. Hydraulic Soils Map	December 19, 2024
14. Erosion and Sedimentation Control Plan	December 20, 2024
15. Maine Sand and Gravel Aquifer Map	December 19, 2024
16. Lighting Cut Sheets	No dates
17. Abutters Map	December 17, 2024

PLANS

18. Boundary & Topographic Survey (V1REV1)	October 7, 2024
19. Site Plan (C1)	December 20, 2024
20. Civil Details (C2)	December 20, 2024
21. Civil Details (C3)	December 20, 2024
22. Civil Details (C4)	December 20, 2024
23. 2A architects -Exterior Elevations (A4.0-A4.3)	December 17, 2024

December 20, 2024

Planning Board  
Town of Northport  
16 Beech Hill Rd.  
Northport, ME 04849

**Town of Northport- New Town Office Building: Site Plan Review Application**  
Project 2018-061

Dear Members of the Board:

Gartley & Dorsky Engineering & Surveying, Inc. submits this letter to the Town of Northport for a new Town Office Building located on Beech Hill Rd. The applicant proposes constructing a new Town Office building that will connect to the existing Firestation. The proposed building is a single-story structure with a total footprint of approx. 6,300 SF. The exiting office building will be removed and replaced with an improved parking area. Please find the enclosed pre-application and plan showing the proposed activity.

The Rights, Title, Interest, and general information for the property are summarized as follows:

Owners: Town of Northport

Subject Parcel: Map R6, Lot 1 (Tax Map attached)

Lot Size: 1.31 acres

Deed: Book 633, Page 293, Book 2304, Page 150, Book 373, Page 257 (Deeds attached)

Zone: Mixed Use – US Route 1

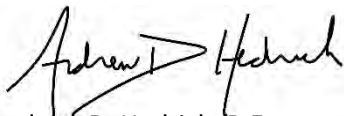
**Town of Northport Site Plan Review Ordinance:**  
**Section 8 Submission Requirements**

- (1) A fully executed and signed copy of the application for site plan review.
- (2) Evidence of payment of the application and technical review fees.
- (3) Eight (8) copies of written materials plus eight (8) sets of maps or drawings containing the information listed below. The written materials must be contained in a bound report. The maps or drawings must be at a scale sufficient to allow review of the items listed under the approval standards and criteria, but in no case shall be more than one hundred (100) feet to the inch for that portion of the tract of land being proposed for development:

Information supporting the items listed above has been included in this application. We look forward to presenting the Application at the January Planning Board meeting.

Sincerely,

**Gartley & Dorsky Engineering & Surveying, Inc.**



Andrew D. Hedrich, P.E.  
Senior Engineer



# Town of Northport

16 Beech Hill Road • Northport, ME 04849

207 338-3819 • e-mail: [northportceo@gmail.com](mailto:northportceo@gmail.com)

## Site Plan Review Application

1. Date of Application 12/20/24, Pre-application 8/23/24		5. Applicants Name: Town of Northport	
2. Location of Site 16 Beech Hill Rd., Northport		6. Applicants Address: (same)	
3. Tax Map R6	Lot# 1	7. Applicants Telephone Number: 207-338-3819	
4. Business Name: Town of Northport		8. Owner's Name if Different than Applicant:	
9. Describe Right, Title, or Interest in Property: Deeds: Book 633 Page 293, Book 2304 Page 150			
10. Describe Existing Use of Property, Being Specific as Possible: Existing Town Office building and existing Fire Dept. building with parking areas.			
11. Describe Proposed Use of Property, Being Specific as Possible: A new Town Office building with a fire station attached is proposed along with an expanded parking lot. The proposed building is a single-story structure with a total footprint of approx. 6300 SF.			
12. Applicant's Signature:  (agent)		13. Date 12/20/24	
14. Date Received		15. Fee paid	

List Below the Names and Mailing Address of Abutting Property Owners Within 500 feet.

Name	Address
Map R6, Lot 34 and U15, Lot 2 Magnificent Seven Limited Partnership	225 Willow Rd., Hailey, ID 83333
Map R6, Lot 35 Elin Potter	68 Peninsula, Rd., Jefferson, ME 04849
Map R6, Lot 3-1 Daniel Small Jr.	PO Box 421, Lincolnville, ME 04849
Map R6, Lot 3 Nancy Brown	26 Beech Hill Rd., Northport, ME 04849
Map R6, Lot 6 Michael Rothlauf and Susan Wieman	116 Fawn Hill Rd., Tuxedo Park, NY 10987
Map R6, Lot 2-A Karen Field	11 Dragonfly Dr., Northport, ME 04849
Map R6, Lot 2 Joan Willoe	21 Beech Hill Rd, Northport, ME 04849
Map R6, Lot CEM	

List Below the Names and Mailing Address of Abutting Property Owners Within 500 feet.

Name	Address
Map U15, Lot 18-8  Neal and Tracy Flewelling	  57 Oak Dr., Northport, ME 04849
Map U15, Lot 18-B  Daniella MacLeod	  PO Box 722, Belfast, ME 04915
Map U15, Lot 19  Spark Real Estate LLC	  77 W. Mine St., Monroe, ME 04951
Map U15, Lot 1  Thomas Schleicher	  36 Cliff Rd., Northport, ME04849

<b>For Office Use Only</b>		
This Application is:	_____Approved	_____Denied by the Planning Board
If Denied, Reason for Denial:		
If Approved, the Following Conditions are Prescribed:		

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**Planning Board Chairman**

**Date:**



**MEMORANDUM**

To: Town of Northport Planning Board  
From: Andrew D. Hedrich, P.E.  
Gartley & Dorsky Engineering & Surveying, Inc.

Date: December 20, 2024

**Subject: Site Plan Review Submission Requirements, and Approval Standards and Criteria with Responses**  
**Town of Northport Town Office & Firestation Project**  
**16 Beech Hill Rd., Northport, Maine**

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Gartley & Dorsky Engineering & Surveying, Inc. submits this **Site Plan Review Submission Requirements, and Approval Standards and Criteria Responses** on behalf of the Town of Northport., in support of their proposal to construct a new Town Office building that will connect to the existing Firestation at 16 Beech Hill Rd., Northport, ME.

**SECTION 8: Submission Requirements**

**8.1. General Information**

(1) record owner's name, address, and phone number and applicant's name, address and phone number if different.

*See Site Plan Review Application*

(2) the location of all required building setbacks, yards, and buffers.

*See Site Plan*

(3) names and addresses of all property owners within five hundred (500) feet of any and all property boundaries.

*See Site Plan Review Application and Abutters Map*

(4) sketch map showing general location of the site within the municipality based upon a reduction of the tax maps.

*See Site Plan, Tax Map, and Location Map*

(5) boundaries of all contiguous property under the total or partial control of the owner or applicant regardless of whether all or part is being developed at this time.

*See Boundary & Topographic Survey (V1)*

(6) the tax map and lot number of the parcel or parcels on which the project is located.

*See Tax Map and Abutters Map*

(7) a copy of the deed to the property, an option to purchase the property or other documentation to demonstrate right, title or interest in the property on the part of the applicant. –

*See attached deed, Book 633 Page 293 dated 1966*

(8) the name, registration number, and seal of the person who prepared the plan, if applicable.

*A stamp/seal is placed on each plan identifying the person responsible for the plan.*

- (9) evidence of the applicant's technical and financial capability to carry out the project as proposed.

*The Town has sufficient technical and financial capacity to carry out this project as proposed. In addition to Town personnel, they have obtained the services of several professionals to assist with the planning and design of the proposed project, which include 2A architects, llc, Gartley & Dorsky Engineering & Surveying (Surveying, Structural, Civil), Bennett Engineering (MEP), and Fire Protection Engineer firm (Bowman).*

## **8.2. Existing Conditions**

- (1) zoning classification(s), including overlay and/or sub-districts, of the property and the location of zoning district boundaries if the property is located in two (2) or more zoning districts or sub-districts or abuts a different district.

*Zone: Mixed Use (MU-US1)*

- (2) the bearings and length of all property lines of the property to be developed and the source of this information. The Planning Board may waive this requirement of a boundary survey when sufficient information is available to establish, on the ground, all property boundaries.

*See Boundary & Topographic Survey (V1)*

- (3) location and size of any existing sewer and water mains, culverts and drains, on-site sewage disposal systems, wells, underground tanks or installations, and power and telephone lines and poles on the property to be developed, on abutting streets, or land that may serve the development, and an assessment of their adequacy and condition to meet the needs of the proposed use. Appropriate elevations must be provided as necessary to determine the direction of flow.

*See Boundary & Topographic Survey (V1)*

- (4) location, names, and present widths of existing public and/or private streets and rights-of-way within or adjacent to the proposed development.

*See Boundary & Topographic Survey (V1). The width of the existing Beech Hill Road is shown on the Site Plan (C1)*

- (5) the location, dimensions and ground floor elevation of all existing buildings on the site.

*See Boundary & Topographic Survey (V1)*

- (6) the location and dimensions of existing driveways, parking and loading areas, walkways, and sidewalks on or immediately adjacent to the site.

*See Boundary & Topographic Survey (V1). The plan is too scale dimensions can be measured using the scale identified on the plan.*

- (7) location of intersecting roads or driveways within two hundred (200) feet of the site.

*See the attached Abutters Map.*

- (8) the location of open drainage courses, wetlands, stonewalls, graveyards, fences, stands of trees, and ther important or unique natural areas and site features, including but not limited to, floodplains, deer wintering areas, significant wildlife habitats, scenic areas, habitat for rare and endangered plants and animals, unique natural communities and natural areas, sand and gravel aquifers, and historic \_and/or archaeological resources, together with a description of such features.

*See the attached plan set and application packet. The site is not located within close proximity to any known sand and gravel aquifers. The area does not appear to have been mapped by the Maine Department of Agriculture, Conservation & Forestry, see the attached map.*

- (9) the direction of existing surface water drainage across the site.

*Topographic information shown on the plans indicates surface water drainage direction across the site. Pre and Post Development flow arrows have been added to the Site Plan*

- (10) the location, front view, dimensions, and lighting of existing signs.

*The existing sign is a two-sided small portable sign board, which will be removed and replaced with a permanent fixed new post-mounted LED sign, approximately 4'x3' in size. The Town Staff are currently reviewing the sign details.*

- (11) location and dimensions of any existing easements and copies of existing covenants or deed restrictions.

*No easement locations were identified during the boundary survey.*

- (12) the location of the nearest fire hydrant, dry hydrant or other water supply for fire protection.

*There are no fire hydrants, dry hydrants, or fire protection water supplies within a half a mile of the proposed site. A water storage tank for localized fire suppression is part of this project.*

### **8.3. Proposed Development Activity**

- (1) estimated demand for water supply and sewage disposal together with the location and dimensions of all provisions for water supply and wastewater disposal, and evidence of their adequacy for the proposed use, including soils test pit data if on-site sewage disposal is proposed.

*The water is currently supplied by an existing private well and subsurface wastewater disposal system located on the parcel. The existing systems have adequately served the Town Office and Fire Station for years. There are no changes proposed to the water supply system. The septic system is currently located in the proposed building footprint. As such, a new septic system design has been prepared to relocate the septic system field.*

- (2) the direction of proposed surface water drainage across the site and from the site, with an assessment of impacts on downstream properties.

*The direction of surface water drainage across the site is indicated with flow arrows. The surface water from the site will continue to entire the wetland area north of the building. From there the runoff traverses through wetland and minor drainage channel to a culvert under Route 1. The culvert discharges to a defined channel that enters Shaw Brook. The project will not have a negative impact on the downstream properties.*

- (3) provisions for handling all solid wastes, including hazardous and special wastes and the location and proposed screening of any on-site collection or storage facilities.

*No changes are proposed. Construction waste will be handled by the contractor under their current agreement with the waste handling facility.*

- (4) the location, dimensions, and materials to be used in the construction of proposed driveways, parking and loading areas, and walkways and any changes in traffic flow onto or off-site.

*The plan set includes these items. The Site Plan shows locations and traffic flow, and the Detail Sheets indicate the materials to be used during construction.*

- (5) proposed landscaping and buffering.

*The existing natural buffers will remain to the greatest extent possible. We anticipate providing some landscaping around the generator for some additional screening.*

(6) the location, dimensions, and ground floor elevation of all proposed buildings or building expansion proposed on the site.

*See the attached Exterior Elevation plans provided by the 2A architects, llc.*

(7) location, front view, materials, and dimensions of proposed signs together with the method for securing the sign.

*See the attached sign plan provided by 2A architects, llc.*

(8) location and type of exterior lighting.

*See the attached Exterior Lighting Fixture Location Plan and light fixture cut sheets.*

(9) the location of all utilities, including fire protection systems.

*See Site Plan (C1)*

(10) a general description of the proposed use or activity.

*The applicant proposes constructing a new Town Office building that will connect to the existing Firestation. The proposed building is a single-story structure with a total footprint of approx. 6,300 SF. The exiting office building will be removed and replaced with an improved parking area.*

(11) an estimate of the peak hour and daily traffic to be generated by the project.

*No change is proposed for the peak hour or daily traffic to be generated by the Town Office reconstruction.*

*According to the 11th Edition of the Institute of Transportation Engineering (ITE) Trip Generation Manual, Northport can expect approximately 24 trips during the AM peak hour. This calculation is based on the manual's rates of 0.65 trips per 1,000 residents and 3.69 trips per employee. With a population of 1,613 and 6 employees, the breakdown is as follows:*

- Resident trips:  $(1,613 / 1,000) \times 0.65 = 1.05$  trips*
- Employee trips:  $6 \times 3.69 = 22.14$  trips*
- Total AM peak hour trips: 23.19, rounded to 24 trips*

*For daily trips, the ITE Manual provides additional data. Using the rates of 3.99 trips per 1,000 residents and 7.45 total daily trips per employee, Northport can expect approximately 52 weekday trips:*

- Resident daily trips:  $(1,613 / 1,000) \times 3.99 = 6.44$  trips*
- Employee daily trips:  $6 \times 7.45 = 44.70$  trips*
- Total daily trips: 51.14, rounded to 52 trips*

(12) stormwater calculations, erosion and sedimentation control measures, and water quality and/or phosphorous export management provisions, if the project requires a stormwater permit from the Maine Department of Environmental Protection or if the Planning Board determines that such information is necessary based upon the scale of the project or the existing conditions in the vicinity of the project.

*The site does not lie within a phosphorus-sensitive watershed, and the planned improvements do not trigger the need for a DEP stormwater management permit. For more details, please refer to the Stormwater Management section under Standards and Criteria.*

#### **8.4. Approval Block**

Space must be provided on the plan drawing for the signatures of the Planning Board and date together with the following words, "Approved: Town of Northport Planning Board".

*See the Site Plan (C1)*

## Section 9. APPROVAL STANDARDS AND CRITERIA

### 9.1. Utilization of the Site

*Proposed use is the same as the existing use. The reconfigured site, building, and parking make best use of the site and the needs of the two facilities. Freshwater wetlands are impacted in order to make these changes ( $\pm 10,460$  SF) and compensation will be paid for these impacts. USF&W show no critical habitat mapped in area and a "no-effect" determination has been issued on any endangered species that may occur within the boundary of the proposed project (IPaC).*

### 9.2. Adequacy of Road System

*The road system has adequate capacity for the continued use of the Town Office. The proposed office reconstruction will not have a negative impact on the Road System. The MaineDOT Factored Annual Average Daily Trips is 653 and the estimated hourly capacity of the road system is 1,000 vehicles per hour. The existing road has ample capacity.*

### 9.3. Access into the Site

*The existing access into the site will be altered to better separate the Fire Station and the Town Office entrance. The Fire Station entrance will remain in the current location, but the Town Office entrance will be relocated to the far end of the former parking lot location. This will provide approximately 100' of separation between the two entrances. The new Town Office entrance will comply with the grade standards and provide safe access to and from Beech Hill Road. The trees that overhang into the ROW to the west of the new entrance location will be trimmed to improve sight distances. Site access will be significantly improved by closing the open curb cut that previously existed on the site. Cars will no longer be backing into the Beech Hill Road.*

### 9.4. Access-way Location and Spacing

*The new Town Office entrance location has been improved to eliminate the open curb cut and define a single entrance for the Town Office. The new entrance will be more than 75' from the existing Fire Station entrance.*

### 9.5. Internal Vehicular Circulation

*The proposed site layout significantly improves the safe movement of vehicles, pedestrians, and emergency vehicles used through the site. The parking lot dimensions comply with the ordinance, there is a buffer along Beech Hill Road, a side walk is provided for pedestrians adjacent to the office building, there is improved vehicular entrance separation between Fire Station and Town Office.*

### 9.6. Parking Layout and Design

*The original parking lot contained approximately 14 parking spaces that did not comply with the ordinance. The proposed parking lot will contain 20 off-street parking spaces and 12 on-street parking spaces, that all meet parking standards. This project will more than double the number of available parking spaces and all the spaces will comply with the ordinance standards.*

### 9.7. Pedestrian Circulation

*A sidewalk along the front of the new Town Office building and around the back and sides. A paved walkway is also proposed to be added to the side of the fire station.*

**9.8. Stormwater Management**

*The site's existing drainage patterns will undergo minor modifications. Stormwater runoff will continue to flow into the wetland area north of the building. From there, runoff travels through wetlands and a minor drainage channel to a culvert beneath Route 1. The culvert discharges to a defined channel that feeds into Shaw Brook. This channel has sufficient capacity to accommodate the modest increase in stormwater runoff. The project will not adversely affect downstream properties.*

*The proposed site redevelopment will increase impervious surface area from approximately 25,000 SF to 35,000 SF. The minimal increase in impervious area will not require a stormwater management permit from DEP. Stormwater will be collected through a closed drainage system consisting of catch basins, storm drainpipes, and stone trenches with perforated pipes. Riprap treatment at storm drain outlets will ensure sheet flow conditions when discharging to the undisturbed natural drainage system. The stormwater management system has been designed in accordance with Maine Department of Environmental Protection (DEP) Stormwater Management Best Management Practices. Detailed sizing calculations are available upon request.*

**9.9. Erosion Control**

*Erosion and sedimentation control measures are required for construction activities as outlined in the basic stabilization standards of Maine's Erosion and Sedimentation Control Law 38 MRSA §420-C. Erosion and sedimentation control practices, during construction, shall be performed as outlined in the Maine Erosion and Sediment Control Best Management Practices (BMP's). Erosion and sedimentation control measures are annotated on Sheet C1 and detailed on Sheet C2.*

*Site grading will be done in such a way as to minimize erosion. Ground area opened or exposed, whether directly or indirectly due to the project construction, shall be minimized and shall be stabilized within 15 days of the initial disturbance of the mineral soil, and shall be permanently stabilized within 7 days of final grading. Temporary soil stabilization shall be either by temporary mulching, temporary seeding, permanent base gravel or asphalt base course. Careful consideration has been given to the building and parking layouts to harmonize with the existing topography. Sediment barriers will be placed downgradient of the proposed development.*

**9.10. Water Supply**

No changes are proposed to the existing water supply, private well.

**9.11. Sewage Disposal**

*The septic system is currently located in the proposed building footprint. As such, a new septic system design has been prepared to relocate the septic system field.*

**9.12. Utilities**

*The existing electrical and telecom utilities will be modified to accommodate the new Town Office. A new pole will be placed west of the access drive to ensure proper clearance from the edge of the entrance. Power and telecom utilities will be run underground from the new pole to the new Town Office building.*

**9.13. Natural Features**

*The natural features will be preserved to the greatest practicable extent. Side slopes in fill sections will be constructed at 2:1 slopes and small boulder retaining walls will be utilized to minimize impacts to natural conditions.*

**9.14. Groundwater Protection**

*There will be no negative impact on the ground water, no change in uses is proposed.*

**9.15. Water Quality Protection**

*No changes are proposed to the site that will negatively impact the water quality. The site is not located within the watershed of a "body of water most at risk from development" as identified by Maine DEP. The site discharges to a stream and then into the ocean, which is not impacted by TSS or phosphorus.*

**9.16. Hazardous, Special and Radioactive Materials**

*There are no known hazardous, special or radioactive materials located in the proposed project improvement area.*

**9.17. Shoreland Relationship**

*The project will not adversely affect the water quality or shoreline of any water body.*

**9.18. Technical and Financial Capacity**

*The Town has obtained a qualified team of professionals, that include architects, surveyors, engineers and soil scientists, to assist them with this project.*

**9.19. Solid Waste Disposal**

*The solid waste will continue to be handled in the current manner, which the daily waste ends up at the Northport Transfer Station. No additional daily waste is anticipated with the new Town Office building. The construction waste will be handled by the selected contractor under their current contract with a waste handling facility.*

**9.20. Historic and Archaeological Resources**

*This is an existing developed site, there are no known historic or archaeological resources located in the proposed project area.*

**9.21. Floodplain Management**

*The FEMA Flood Map Center designated this area as an area of minimal flood hazard. See the attached FIRMette.*



3-3-1966  
Feb. 19-1966  
Islorra B Weymouth  
Northport

*James C. Thomason*  
Reg.

(To be recorded in Registry of Deeds)

TAX COLLECTOR'S LIEN CERTIFICATE (Revised Statutes of Maine for 1954, Chap. 91A, Secs. 88 and 89, as amended)

NOTE: This certificate must be recorded in the Registry of Deeds of the county or registry district where said real estate is situated. After the expiration of eight months and within one year after the date of commitment of the tax, the collecting officer serves or mails a ten day written notice (Form No. 1972) and after the expiration of that ten day notice and within ten days after said expiration, Collector records this certificate in said registry.

## State of Maine

GEN 633-293

2154 I, *Barbara Tandy*, Tax Collector of the Municipality of *Northport*, in the County of *Waldo*, said taxes having been duly and legally committed to me for collection on the *1<sup>st</sup>* day of *May*, 19 *65*, hereby certify that a tax of *75* dollars and *60* cents, duly and legally assessed to real estate in said Municipality, and assessed against *Oscar Drinkwater, Jr.*, of *Northport, Maine*, as owner-tenant in possession\* thereof, said real estate being bounded and described as follows:

together with interest of *76* dollars and *60* cents, which has been added to and become a part of said tax,† and also one dollar to this officer for making the demand, a total of *77* dollars and *60* cents, remains unpaid; that a lien is claimed on said real estate, above described, to secure the payment of the said tax; that a demand for payment of said tax has been made of the said *Oscar Drinkwater, Jr.*, as owner-tenant in possession of the said

by me by my giving to him in hand, by my leaving at his last and usual place of abode at *P.O. #2 Lincolnville, Me.*, by my sending by registered mail to his last known place of abode at *P.O. #2 Lincolnville, Me.*, on the *27* day of *December*, 19*65*, a notice in writing signed by me stating the amount of said tax, describing the real estate on which said tax is assessed, alleging that a lien is claimed on said real estate to secure the payment of said tax, and demanding payment of said tax and costs within 10 days after †service-mailing† of said notice, in accordance with the provisions of Chapter 91A, Sections 88 and 89, of the Revised Statutes of Maine for 1954, as amended.

Additional Costs:  
Filing, Recording and  
Discharging Lien, \$3.00  
Registered Mail, true  
copies, \$....

Total \$....

*Barbara Tandy*  
Tax Collector  
Municipality of *Northport, Maine*

STATE OF MAINE

*Waldo*, ss. *January 25*, 19*66*

Then personally appeared the above subscribed *Barbara Tandy*, Tax Collector, and acknowledged the foregoing instrument to be his free act and deed in his said capacity.



Waldo County, ss. *James C. Thomason*  
Received JAN 25 1966

At 11 M. 45 A.M. and recorded  
in Book 633 Page 293  
Attest:

*James C. Thomason*  
Reg.

*Justine E. Richards*  
Notary Public.

\* Strike out "tenant in possession" where assessed to "owner" and vice versa.

\*\* If an owner or tenant in possession of real estate to whom said real estate is taxed shall die before such demand is made on him, such demand may be made upon the executor or administrator of his estate or upon any of his heirs or devisees. R. S. Chap. 91A, Sec. 88, as amended.

† If Municipality did not vote interest, strike out text between daggers. R. S., Chapter 91A, Section 89, as amended.

\*\* Where assessed owner and tenant and vice versa



"Maine Real Estate  
Transfer Tax Paid"

KELLY & ASSOCIATES, LLC, 96 High Street • Belfast, ME 04915

## WARRANTY DEED

### 11680

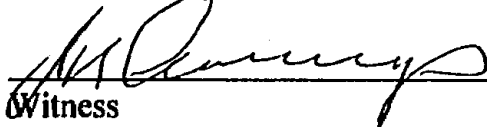
FRANCIS E. BONIN, JR., of Northport, Maine, for consideration paid, Grants to THE INHABITANTS OF THE TOWN OF NORTHPORT, whose mailing address is Northport Town Office, 19 Beech Hill Road, Northport, Maine 04849, with Warranty Covenants, a certain lot or parcel of land, situated in NORTHPORT, County of Waldo, State of Maine, more particularly described as follows, to wit:

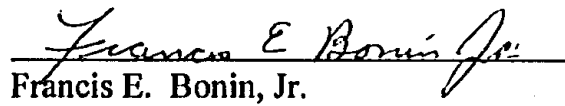
Beginning at a 5/8" steel pin, which lies N. 65° 21' 20" W. ten and five tenths (10.5) feet from a 5/8" steel pin set in 1990, located on the assumed northeasterly right of way bound of the Beech Hill Road; thence from the point of beginning N. 36° 46' 20" W. by and along property retained by Francis E. Bonin, Jr. a distance of one hundred ninety-four and three tenths (194.3) feet to a 5/8" steel pin set in 2002; thence S. 54° 53' 45" W. by and along property retained by Francis E. Bonin, Jr. one hundred fifty-eight and five tenths (158.5) feet to a 5/8" steel pin set in 2002; thence S. 49° 15' 30" E. by and along property of the Town of Northport as described in Book 633, Page 293 and referenced in Book 281, Pages 185 and 186, one hundred thirty-four and six tenths (134.6) feet, through a pin set in 1990, to a point marking the westerlymost corner of premises deeded to the Town of Northport in Book 373, Page 257; thence N. 59° 29' 40" E. ninety-nine (99) feet to a point by and along property of the Town of Northport as described in Book 373, Page 257; thence S. 65° 21' 20" E. by and along said land of Northport sixty-four and five tenths (64.5) feet to a 5/8" steel pin set in 2002, being the point of beginning. Containing forty-seven hundredths (.47) acres, more or less.

The property herein conveyed is depicted on a boundary survey of the Town of Northport prepared by Daniel I. Small, Jr., Land Surveyor, dated September 11, 2002, to be recorded concurrently herewith in the Waldo County Registry of Deeds.

MEANING AND INTENDING to describe and convey and hereby conveying a portion of the premises described in a deed from Geneva A. Bonin to Francis E. Bonin, Jr., dated July 12, 1984, recorded July 17, 1984, in the Waldo County Registry of Deeds in Book 826, Page 493.

WITNESS my hand and seal this 12<sup>th</sup> day of September, 2002

  
Witness

  
Francis E. Bonin, Jr.

STATE OF MAINE  
COUNTY OF WALDO

Personally appeared before me the said Francis E. Bonin, Jr. and acknowledged the foregoing instrument to be his free act and deed.

NOTARY PUBLIC

*Robert L. Coombs*

Print/Type Name *Robert L. Coombs*  
My Comm. Exp. \_\_\_\_\_

MY COMMISSION EXPIRES  
JUNE 9, 2003

RECEIVED WALDO SS.

2002 SEP 20 PH 1:16

ATTEST: *Deloris Page*  
REGISTER OF DEEDS







**PICTURE 1 – EXISTING FIRESTATION BUILDING TO REMAIN & EXISTING TOWN OFFICE  
BUILDING TO BE REMOVED**

DATE: JUNE 2023



**PICTURE 2 – EXISTING FIRESTATION BUILDING TO REMAIN & EXISTING TOWN OFFICE  
BUILDING TO BE REMOVED**

DATE: JUNE 2023





**PICTURE 3 – EXISTING FIRESTATION BUILDING TO REMAIN & EXISTING TOWN OFFICE  
BUILDING TO BE REMOVED**

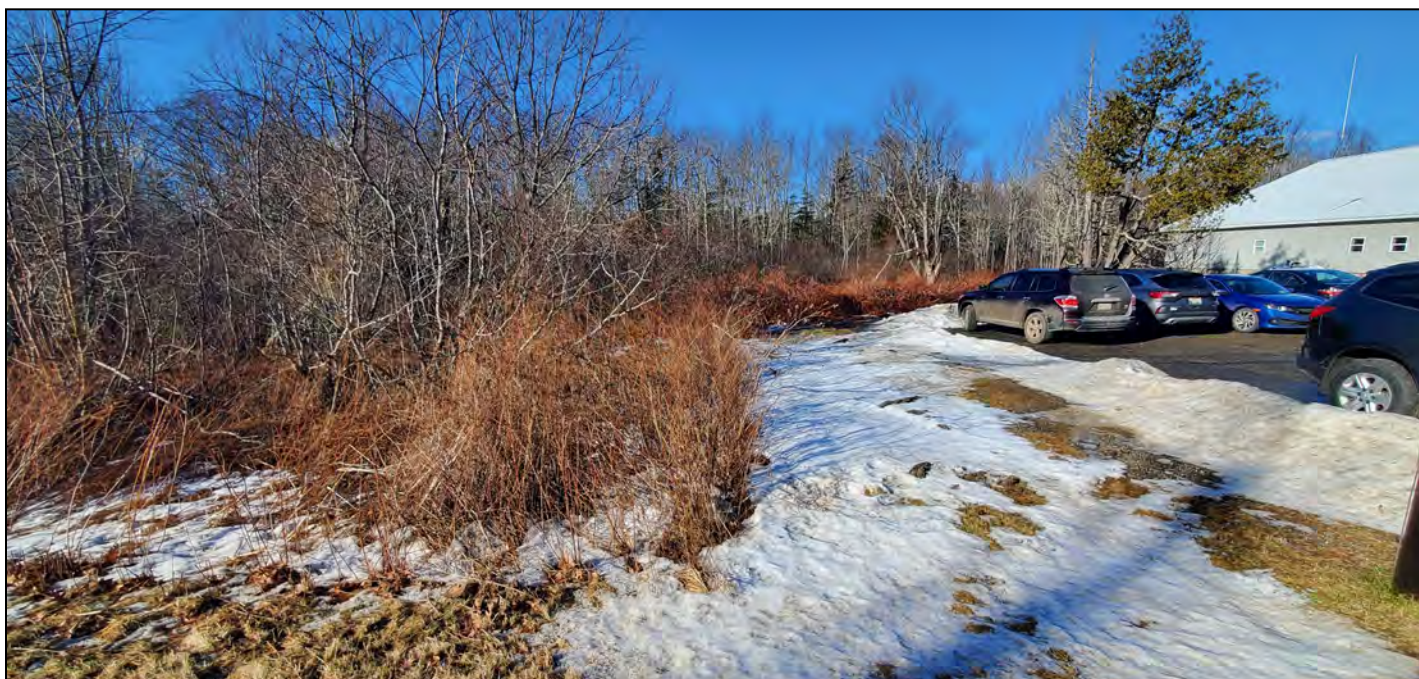
DATE: JUNE 2023



**PICTURE 4 – EXISTING PARKING AREA**

DATE: JUNE 2023





PICTURE 5 – EXISTING FIRESTATION BUILDING TO REMAIN & EXISTING PARKING AREA  
DATE: JUNE 2023



PICTURE 6 – PROPOSED TOWN OFFICE LOCATION  
DATE: JUNE 2023



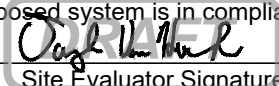
# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services  
Division of Health Engineering, 10 SHS  
(207) 287-2070 Fax: (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	NORTHPORT	Town/City _____	Permit # _____
Street or Road	16 BEECH HILL ROAD	Date Permit Issued ____/____/____	Fee: \$ _____ Double Fee Charged [ ]
Subdivision, Lot #		L.P.I. # _____	
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature _____	
Name (last, first, MI)	TOWN OF NORTHPORT	Fee: \$ _____ state min fee \$ _____ Locally adopted fee copy [ ] Owner [ ] Town [ ] State	
Mailing Address of Owner/Applicant	16 BEECH HILL ROAD NORTHPORT, ME 04849	The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Daytime Tel. #	(207) 338-3819		
<b>OWNER OR APPLICANT STATEMENT</b> I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		<b>CAUTION: INSPECTION REQUIRED</b> I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
		(1st) date approved _____	
Signature of Owner or Applicant _____ Date _____		Local Plumbing Inspector Signature _____ (2nd) date approved _____	

PERMIT INFORMATION		
<b>TYPE OF APPLICATION</b> <input type="checkbox"/> 1. First Time System <input checked="" type="checkbox"/> 2. Replacement System Type replaced: <u>UNKNOWN</u> Year installed: <u>UNKNOWN</u> <input type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. <25% Expansion <input type="checkbox"/> b. ≥25% Expansion <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	<b>THIS APPLICATION REQUIRES</b> <input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	<b>DISPOSAL SYSTEM COMPONENTS</b> <input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous Components
<b>SIZE OF PROPERTY</b> ± 1.3 <input type="checkbox"/> SQ. FT. <input checked="" type="checkbox"/> ACRES	<b>DISPOSAL SYSTEM TO SERVE</b> <input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: _____ <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: <u>TOWN HALL</u> (specify) Current Use <input type="checkbox"/> Seasonal <input checked="" type="checkbox"/> Year Round <input type="checkbox"/> Undeveloped	<b>TYPE OF WATER SUPPLY</b> <input checked="" type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other <span style="color: red;">NOTE: WELL CURRENTLY EXISTS</span>
<b>SHORELAND ZONING</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
<b>TREATMENT TANK</b> <input checked="" type="checkbox"/> 1. Concrete <input type="checkbox"/> a. Regular <input type="checkbox"/> b. Low Profile <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY: <u>2000</u> GAL.	<b>DISPOSAL FIELD TYPE &amp; SIZE</b> <input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device <input type="checkbox"/> a. cluster array <input type="checkbox"/> c. Linear <input type="checkbox"/> b. regular load <input checked="" type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE: <u>800</u> <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft. type: <u>25 CONCRETE CHAMBERS</u>	<b>GARBAGE DISPOSAL UNIT</b> <input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. multi-compartment tank <input type="checkbox"/> b. _____ tanks in series <input type="checkbox"/> c. increase in tank capacity <input checked="" type="checkbox"/> d. Filter on Tank Outlet	<b>DESIGN FLOW</b> <u>600</u> gallons per day BASED ON: <input type="checkbox"/> 1. Table 4A (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 4C (other facilities) SHOW CALCULATIONS for other facilities ASSEMBLY HALL (NO SEATS) 148 @ 2 GPD EACH = 296 GPD 1 BED = 180 GPD 6 EMPLOYEES (W/O SHOWERS) @ 12 GPD = 72 GPD OVERSIZING = 52 GPD TOTAL = 600 GPD <input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. <u>44</u> d <u>20</u> m <u>12.6</u> s Lon. <u>68</u> d <u>57</u> m <u>49.0</u> s if g.p.s, state margin of error: _____
<b>SOIL DATA &amp; DESIGN CLASS</b> PROFILE <u>12</u> / <u>C</u> at Observation Hole # <u>B</u> Depth <u>17</u> " of Most Limiting Soil Factor	<b>DISPOSAL FIELD SIZING</b> <input checked="" type="checkbox"/> 1. Medium---2.6 sq. ft. / gpd <input type="checkbox"/> 2. Medium---Large 3.3 sq. ft. / gpd <input type="checkbox"/> 3. Large---4.1 sq. ft. / gpd <input type="checkbox"/> 4. Extra Large---5.0 sq. ft. / gpd	<b>EFFLUENT/EJECTOR PUMP</b> <input type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May Be Required <input checked="" type="checkbox"/> 3. Required Specify only for engineered systems: DOSE: _____ gallons	

SITE EVALUATOR STATEMENT		
I certify that on <u>11/11/28</u> (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).		
 Site Evaluator Signature	<u>446</u> SE #	<u>11-12-24</u> Date
DOUG VAN HOEWYK GARTLEY & DORSKY ENGINEERING & SURVEYING Site Evaluator Name Printed	(207) 236-4365 Telephone Number	DVANHOEWYK@GARTLEYDORSKY.COM E-mail Address
<b>Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.</b> HHE-200 Rev. 11/2013		

Department of Human Services  
Division of Health Engineering  
(207) 287-5672 Fax: (207) 287-3165

Owner's Name  
TOWN OF NORTHPORT

APPROXIMATE LOCATION OF PROPOSED BUILDING

PROPOSED 4" SCH. 40 PIPE  
( $\frac{1}{4}$ " DROP PER FOOT MINIMUM)

DUPLEX PUMP CHAMBER WITH RISER TO THE SURFACE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

PROPOSED 2" PRESSURE LINE COVERED WITH 2" RIGID STYROFOAM (SLEEVED WITHIN 4" SCHEDULE 40 PVC UNDER DRIVE & PARKING AREAS IF LESS THAN 4' DEPTH).

APPROXIMATE LOCATION OF PROPOSED 2000 GAL. CONCRETE SEPTIC TANK OF MONOLITHIC CONSTRUCTION OR WATER TIGHT (SEE SECTION 7(H) OF THE CODE). THE TANK SHALL BE SET IN 4" LAYER OF COMPACTED SAND OR GRAVEL (8' MIN. FROM BUILDING) WITH POLYLOK PL-250 (OR EQUIVALENT) FILTER AT OUTLET. THE TANK SHALL HAVE WATERTIGHT ACCESS OPENINGS AT FINISH GRADE (SEE SECTION 7(F) OF THE CODE), AND SEPARATE PUMP CHAMBER.

APPROXIMATE LOCATION OF PROPOSED PARKING LOT (SEE CIVIL SITE PLAN)

THE PROPOSED DISPOSAL AREA CONSISTS OF 5 ROWS CONCRETE CHAMBERS WITH 5 CHAMBERS PER ROW. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. CONCRETE CHAMBERS SHALL BE H-20 RATED.

NOTE: ALL PROPERTY LINES ARE APPROXIMATE.

REF. PT. A.  
NAIL 60" ABOVE GRADE IN 12" MAPLE TREE

ERP  
NAIL 36" ABOVE GRADE IN UTILITY POLE

SITE LOCATION

Soil Classification	Slope	Limiting Factor	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
<u>12</u> Profile <u>C</u> Condition	<u>2</u> %	<u>17</u> "	

Date \_\_\_\_\_



<b>SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION</b>		Department of Human Services Division of Health Engineering (207) 287-5672 Fax: (207) 287-3165	
Town, City, Plantation NORTHPORT	Street, Road, Subdivision 16 BEECH HILL ROAD	Owner's Name TOWN OF NORTHPORT	

**SUBSURFACE WASTEWATER DISPOSAL PLAN**

APPROXIMATE LOCATION OF PROPOSED BUILDING

PROPOSED 2" PRESSURE LINE COVERED WITH 2" RIGID STYROFOAM (SLEEVED WITHIN 4" SCHEDULE 40 PVC UNDER DRIVE & PARKING AREAS IF LESS THAN 4' DEPTH).

APPROX. TOE OF FILL EXTENSION (SEE CIVIL SITE PLAN)

PROPOSED 12 HOLE DISTRIBUTION BOX WITH NO EQUALIZERS SET IN 4" LAYER OF COMPACTED SAND AND COVERED WITH 2" OF STYROFOAM INSULATION.

THE PROPOSED DISPOSAL AREA CONSISTS OF 5 ROWS CONCRETE CHAMBERS WITH 5 CHAMBERS PER ROW. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. CONCRETE CHAMBERS SHALL BE H-20 RATED.

SCALE: 1" = 20 FT.

NOTE: ALL PROPERTY LINES ARE APPROXIMATE.

APPROXIMATE LOCATION OF PROPOSED PARKING LOT (SEE CIVIL SITE PLAN)

<b>FILL REQUIREMENTS</b> Depth of Fill (Upslope) 20"-22" Depth of Fill (Downslope) 20"-32"	<b>CONSTRUCTION ELEVATIONS</b> Finished Grade Elevation SEE SECTION-A Top of Distribution Pipe or Proprietary Device SEE SECTION-A Bottom of Disposal Area SEE SECTION-A	<b>ELEVATION REFERENCE POINT</b> Location & Description: NAIL 36" ABOVE GRADE IN UTILITY POLE Reference Elevation: 0"
--	---	--

**DISPOSAL AREA CROSS SECTION**

(SEE ATTACHED SECTION)

DISTANCES:

ELEVATION REFERENCE POINT (ERP):  
NAIL 36" ABOVE GRADE IN UTILITY POLE

ERP TO A: 69'-8"  
 ERP TO B: 29'-8"  
 ERP TO C: 71'-1"  
 ERP TO D: 34'-3"

**SCALE**

Horizontal 1" = N/A ft.  
 Vertical 1" = N/A ft.

REFERENCE POINT A.:  
NAIL 60" ABOVE GRADE IN 12" MAPLE TREE

REFERENCE POINT A TO A: 56'-0"  
 REFERENCE POINT A TO B: 36'-2"  
 REFERENCE POINT A TO C: 45'-0"  
 REFERENCE POINT A TO D: 16'-0"

DRAFT

Site Evaluator Signature

446

SE #

11-12-24

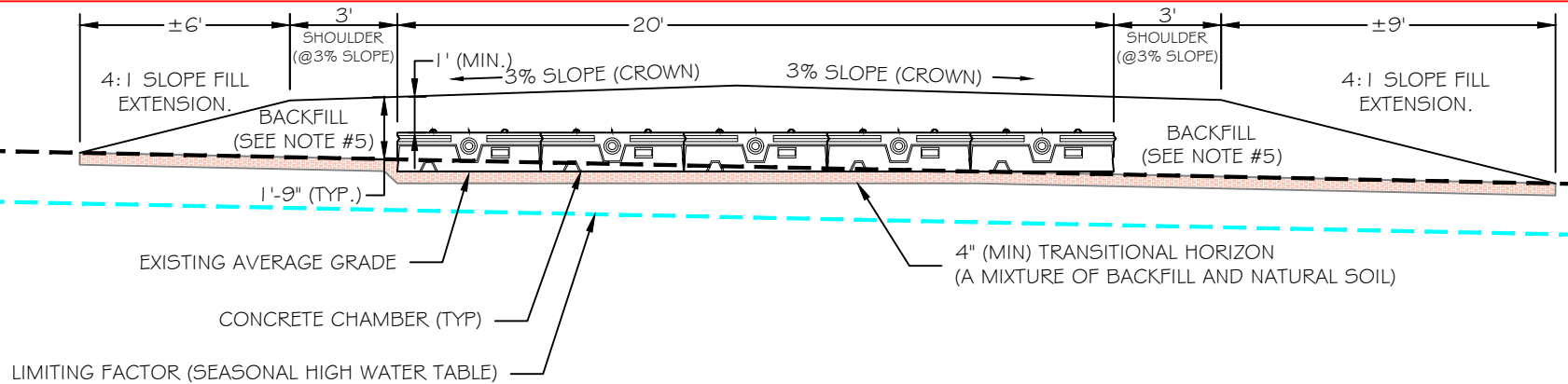
Date

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# SECTION-A

## CONCRETE CHAMBERS CROSS SECTION

ERP = 0"



THE SYSTEM CONSISTS OF 5 ROWS OF 5 CONCRETE CHAMBERS PER ROW.

### NOTE:

THIS CROSS SECTION DEPICTS THE MIN. GRADING REQUIREMENTS FOR THE PROPOSED SEPTIC FIELD. SEE CIVIL SITE PLAN AND CIVIL DETAILS FOR ADDITIONAL INFORMATION REGARDING THIS SEPTIC FIELD.

### SYSTEM NOTES:

1. INSTALLATION SHALL NOT TAKE PLACE WHEN THE GROUND IS FROZEN OR SATURATED.
2. TOPSOIL OR ORGANICS MUST BE REMOVED FROM LEACH FIELD AND FILL SLOPE EXTENSIONS PRIOR TO FILL PLACEMENT.
3. THE TOP OF THE NATURAL SOIL SHALL BE SCARIFIED BY ROTOTILLER, HARROW OR BACKHOE TEETH.
4. THERE SHALL BE 4" MINIMUM TRANSITIONAL HORIZON BETWEEN BACKFILL AND THE NATURAL SOIL WHICH IS A MIXTURE OF BACKFILL AND NATURAL SOIL. THE TRANSITIONAL HORIZON SHALL BE UNDER THE DISPOSAL SYSTEM AND EXTEND FROM FILL EXTENSION TO FILL EXTENSION.
5. BACKFILL SHALL BE GRAVELLY COARSE SAND AND SHALL MEET SPECIFICATIONS OF TABLE 12A OF THE SUBSURFACE RULES.
6. FINAL GRADES SHALL BE LOAMED (4" MIN), MULCHED AND SEEDED.
7. ALL ACCESS OPENINGS FOR TREATMENT TANKS AND PUMP STATION SHALL BE LOCATED AT FINISHED GRADE, AND HAVE A WATER TIGHT RISERS. H-20 CONSTRUCTION IS REQUIRED IN TRAFFIC AREAS. SEE SECTION 7F OF THE SUBSURFACE CODE.
8. THIS SYSTEM IS NOT DESIGNED FOR BACKWASH FROM ANY WATER TREATMENT SYSTEM.
9. A FORCE MAIN (IF REQUIRED) SHALL BE CONSTANTLY ASCENDING 2" HDPE BETWEEN THE PUMP CHAMBER AND THE DISTRIBUTION STRUCTURE. THE NUMBER OF JOINTS IN THE FORCE MAIN SHALL BE MINIMIZED AND ANY JOINTS SHALL BE FIELD FUSION WELDED.

### ELEVATIONS

ELEV. REF. PT. (ERP)	0	
	ROW 1	ROW 2
MIN. FINISHED GRADE (12" COVER)	-32"	-32"
TOP OF CHAMBER	-44"	-44"
BOTTOM OF CHAMBER	-57"	-57"
	ROW 3	ROW 4
MIN. FINISHED GRADE (12" COVER)	-32"	-32"
TOP OF CHAMBER	-44"	-44"
BOTTOM OF CHAMBER	-57"	-57"
	ROW 5	
MIN. FINISHED GRADE (12" COVER)	-32"	
TOP OF CHAMBER	-44"	
BOTTOM OF CHAMBER	-57"	

### SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

*[Signature]*  
Site Evaluator Signature

446

SE #

11-12-24

Date

Owner/Applicant: TOWN OF NORTHPORT

Town: NORTHPORT

Street: 16 BEECH HILL ROAD

Detail Scale: 1" = 5'

**Gartley & Dorsky**  
ENGINEERING SURVEYING

59B Union Street P.O. Box 1031 Camden, ME 04843-1031  
Ph (207) 236-4365 Fax (207) 236-3055 Toll Free 1-888-282-4365  
165 Main Street Suite 2D P.O. Box 1072 Damariscotta, Maine 04543  
Ph. (207) 790-5005

S-1

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## United States Department of the Interior

### FISH AND WILDLIFE SERVICE

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

Phone: (207) 469-7300 Fax: (207) 902-1588



In Reply Refer To:

March 06, 2024

Project Code: 2024-0058551

Project Name: Northport Town Office

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed, and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through IPaC by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)(c)). For projects other than major construction activities, the Service suggests that a biological

evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at: <https://www.fws.gov/sites/default/files/documents/endangered-species-consultation-handbook.pdf>

**Migratory Birds:** In addition to responsibilities to protect threatened and endangered species under the Endangered Species Act (ESA), there are additional responsibilities under the Migratory Bird Treaty Act (MBTA) and the Bald and Golden Eagle Protection Act (BGEPA) to protect native birds from project-related impacts. Any activity, intentional or unintentional, resulting in take of migratory birds, including eagles, is prohibited unless otherwise permitted by the U.S. Fish and Wildlife Service (50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)). For more information regarding these Acts, see [Migratory Bird Permit | What We Do | U.S. Fish & Wildlife Service \(fws.gov\)](#).

The MBTA has no provision for allowing take of migratory birds that may be unintentionally killed or injured by otherwise lawful activities. It is the responsibility of the project proponent to comply with these Acts by identifying potential impacts to migratory birds and eagles within applicable NEPA documents (when there is a federal nexus) or a Bird/Eagle Conservation Plan (when there is no federal nexus). Proponents should implement conservation measures to avoid or minimize the production of project-related stressors or minimize the exposure of birds and their resources to the project-related stressors. For more information on avian stressors and recommended conservation measures, see <https://www.fws.gov/library/collections/threats-birds>.

In addition to MBTA and BGEPA, Executive Order 13186: *Responsibilities of Federal Agencies to Protect Migratory Birds*, obligates all Federal agencies that engage in or authorize activities that might affect migratory birds, to minimize those effects and encourage conservation measures that will improve bird populations. Executive Order 13186 provides for the protection of both migratory birds and migratory bird habitat. For information regarding the implementation of Executive Order 13186, please visit <https://www.fws.gov/partner/council-conservation-migratory-birds>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Code in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List

# OFFICIAL SPECIES LIST

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

**Maine Ecological Services Field Office**

P. O. Box A

East Orland, ME 04431

(207) 469-7300

## PROJECT SUMMARY

Project Code: 2024-0058551

Project Name: Northport Town Office

Project Type: Government / Municipal (Non-Military) Construction

Project Description: Town office expansion with fire dept.

Project Location:

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@44.336938,-68.96390340600959,14z>



Counties: Waldo County, Maine

## ENDANGERED SPECIES ACT SPECIES

There is a total of 3 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries<sup>1</sup>, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

- 
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

## MAMMALS

NAME	STATUS
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/9045">https://ecos.fws.gov/ecp/species/9045</a>	Endangered

## FISHES

NAME	STATUS
Atlantic Salmon <i>Salmo salar</i> Population: Gulf of Maine DPS There is <b>final</b> critical habitat for this species. Your location does not overlap the critical habitat. Species profile: <a href="https://ecos.fws.gov/ecp/species/2097">https://ecos.fws.gov/ecp/species/2097</a>	Endangered

## INSECTS

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/9743">https://ecos.fws.gov/ecp/species/9743</a>	Candidate

## CRITICAL HABITATS

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

## **IPAC USER CONTACT INFORMATION**

Agency: Gartley & Dorsky Engineering and Surveying, Inc.

Name: Sarah Post

Address: 59 Union ST. Unit 1

City: Camden

State: ME

Zip: 04843

Email: [spost@gartleydorsky.com](mailto:spost@gartleydorsky.com)

Phone: 2072364365





## United States Department of the Interior

### FISH AND WILDLIFE SERVICE

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

Phone: (207) 469-7300 Fax: (207) 902-1588



In Reply Refer To:  
Project code: 2025-0001925  
Project Name: Town of Northport

10/04/2024 15:26:17 UTC

Federal Action Agency (if applicable): Army Corps of Engineers

**Subject:** Record of project representative's no effect determination for 'Town of Northport'

Dear Amanda Sayles:

This letter records your determination using the Information for Planning and Consultation (IPaC) system provided to the U.S. Fish and Wildlife Service (Service) on October 04, 2024, for 'Town of Northport' (here forward, Project). This project has been assigned Project Code 2025-0001925 and all future correspondence should clearly reference this number. **Please carefully review this letter.**

### **Ensuring Accurate Determinations When Using IPaC**

The Service developed the IPaC system and associated species' determination keys in accordance with the Endangered Species Act of 1973 (ESA; 87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.) and based on a standing analysis. All information submitted by the Project proponent into IPaC must accurately represent the full scope and details of the Project.

Failure to accurately represent or implement the Project as detailed in IPaC or the Northern Long-eared Bat Rangewide Determination Key (Dkey), invalidates this letter. ***Answers to certain questions in the DKey commit the project proponent to implementation of conservation measures that must be followed for the ESA determination to remain valid.***

### **Determination for the Northern Long-Eared Bat**

Based upon your IPaC submission and a standing analysis, your project has reached the determination of "No Effect" on the northern long-eared bat. To make a no effect determination, the full scope of the proposed project implementation (action) should not have any effects (either positive or negative), to a federally listed species or designated critical habitat. Effects of the action are all consequences to listed species or critical habitat that are caused by the proposed action, including the consequences of other activities that are caused by the proposed action. A

consequence is caused by the proposed action if it would not occur but for the proposed action and it is reasonably certain to occur. Effects of the action may occur later in time and may include consequences occurring outside the immediate area involved in the action. (See § 402.17).

Under Section 7 of the ESA, if a federal action agency makes a no effect determination, no consultation with the Service is required (ESA §7). If a proposed Federal action may affect a listed species or designated critical habitat, formal consultation is required except when the Service concurs, in writing, that a proposed action "is not likely to adversely affect" listed species or designated critical habitat [50 CFR §402.02, 50 CFR§402.13].

### **Other Species and Critical Habitat that May be Present in the Action Area**

The IPaC-assisted determination for the northern long-eared bat does not apply to the following ESA-protected species and/or critical habitat that also may occur in your Action area:

- Atlantic Salmon *Salmo salar* Endangered
- Monarch Butterfly *Danaus plexippus* Candidate

You may coordinate with our Office to determine whether the Action may affect the animal species listed above and, if so, how they may be affected.

### **Next Steps**

Based upon your IPaC submission, your project has reached the determination of “No Effect” on the northern long-eared bat. If there are no updates on listed species, no further consultation/coordination for this project is required with respect to the northern long-eared bat. However, the Service recommends that project proponents re-evaluate the Project in IPaC if: 1) the scope, timing, duration, or location of the Project changes (includes any project changes or amendments); 2) new information reveals the Project may impact (positively or negatively) federally listed species or designated critical habitat; or 3) a new species is listed, or critical habitat designated. If any of the above conditions occurs, additional coordination with the Service should take place to ensure compliance with the Act.

If you have any questions regarding this letter or need further assistance, please contact the Maine Ecological Services Field Office and reference Project Code 2025-0001925 associated with this Project.

**Action Description**

You provided to IPaC the following name and description for the subject Action.

**1. Name**

Town of Northport

**2. Description**

The following description was provided for the project 'Town of Northport':

The project involves the placement and maintenance of fill within wetlands to facilitate the construction of a new Town Office in Northport, Maine.

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@44.33630905,-68.96461436368368,14z>



## DETERMINATION KEY RESULT

Based on the information you provided, you have determined that the Proposed Action will have no effect on the Endangered northern long-eared bat (*Myotis septentrionalis*). Therefore, no consultation with the U.S. Fish and Wildlife Service pursuant to Section 7(a)(2) of the Endangered Species Act of 1973 (87 Stat. 884, as amended 16 U.S.C. 1531 *et seq.*) is required for those species.

## QUALIFICATION INTERVIEW

1. Does the proposed project include, or is it reasonably certain to cause, intentional take of the northern long-eared bat or any other listed species?

**Note:** Intentional take is defined as take that is the intended result of a project. Intentional take could refer to research, direct species management, surveys, and/or studies that include intentional handling/encountering, harassment, collection, or capturing of any individual of a federally listed threatened, endangered or proposed species?

No

2. The proposed action does not intersect an area where the northern long-eared bat is likely to occur, based on the information available to U.S. Fish and Wildlife Service as of the most recent update of this key. If you have data that indicates that northern long-eared bats are likely to be present in the action area, answer "NO" and continue through the key.

Do you want to make a no effect determination?

Yes

# PROJECT QUESTIONNAIRE

## **IPAC USER CONTACT INFORMATION**

Agency: Army Corps of Engineers

Name: Amanda Sayles

Address: 442 Civic Center Drive

City: Augusta

State: ME


Zip: 04330

Email: amanda.l.sayles@usace.army.mil

Phone: 9783188486

## Deer Wintering Areas

 Authoritative

 Czapiga, Jason  
State of Maine


### Summary


Deer wintering areas (DWAs) in organized townships


[View Full Details](#)


[Download](#)


### Details


 Dataset  
Feature Layer


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Info Updated

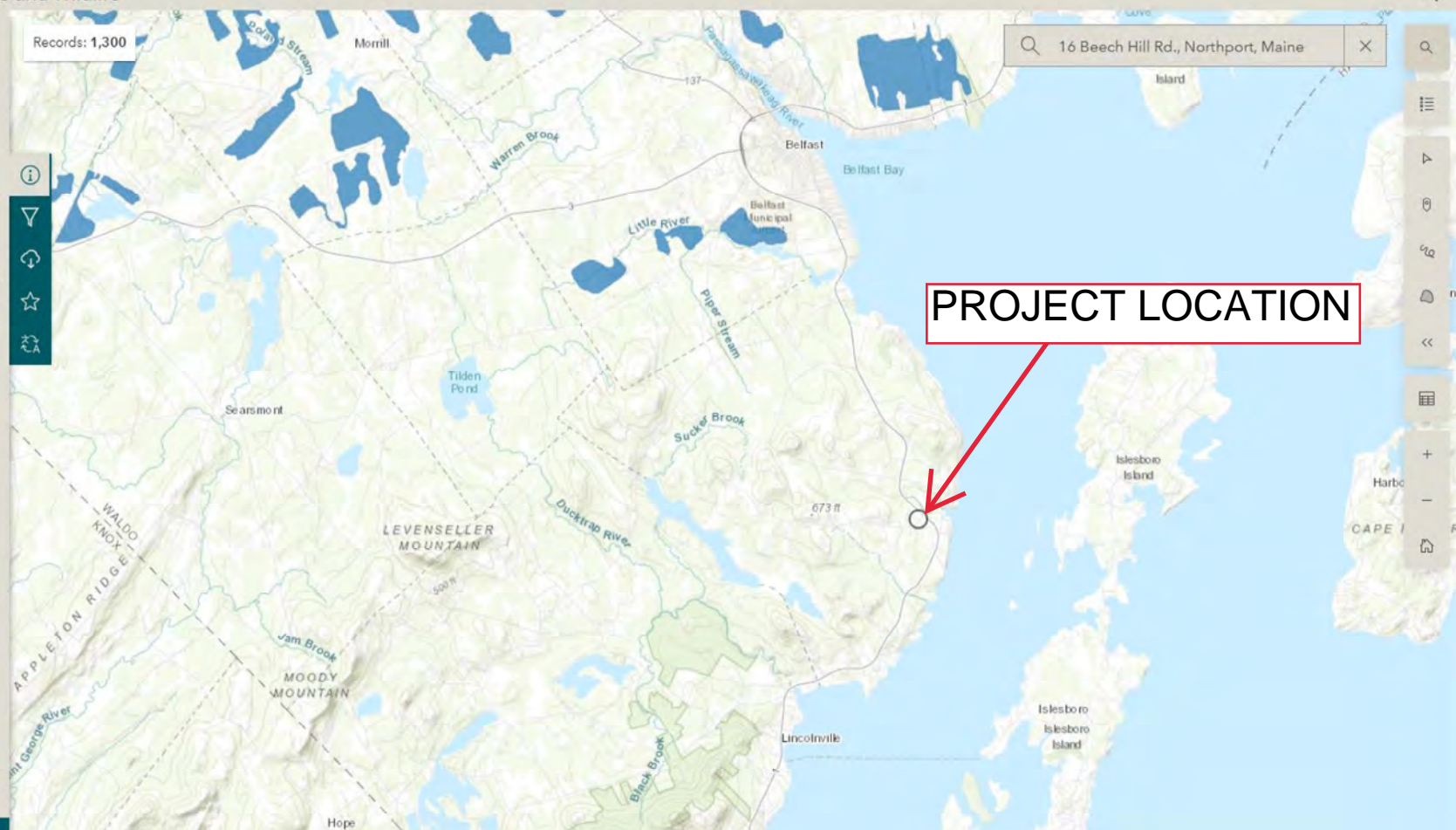
 As Needed  
Data Updated: May 26, 2023 at 2:58 PM

 March 30, 2018 at 12:39 PM  
Published Date

 Records: 1,300  
[View data table](#)

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Anyone can see this content

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[View license details](#)



December 17, 2024

Kirk Mohny  
Maine Historic Preservation Commission  
65 State House Station  
Augusta, Maine 04333-0065

**Town of Northport Town Office and Firestation: Town Site Plan Review Application**  
Project 2018-061

Dear Mr. Mohny:

A Town of Northport Site Plan Review Application (SPR) is being submitted for the redevelopment of the Town of Northport Town Office and Firestation building site located at 16 Beech Hill Rd., Northport. The town SPR requires the applicant to seek information about any historic or archaeological resources at the site. Please review this location for any known sites.

If you have questions regarding this letter, please feel free to contact me directly at (207) 236-4365.

Sincerely,  
**Gartley & Dorsky, Engineering & Surveying Inc.**

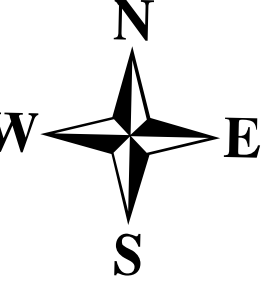


Sarah Post  
Permitting Specialist





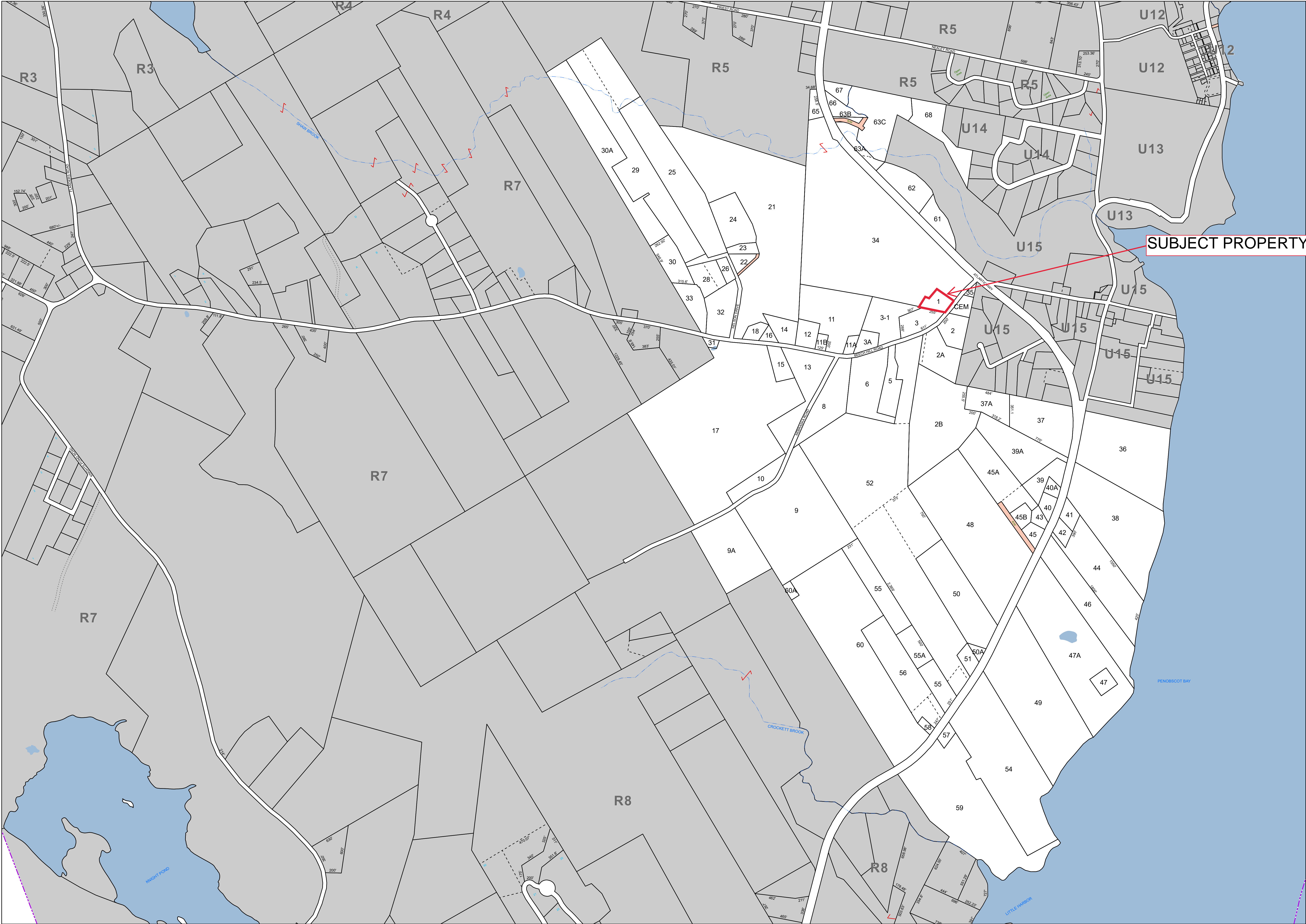
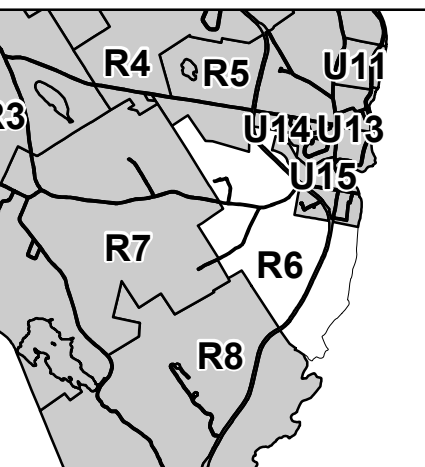
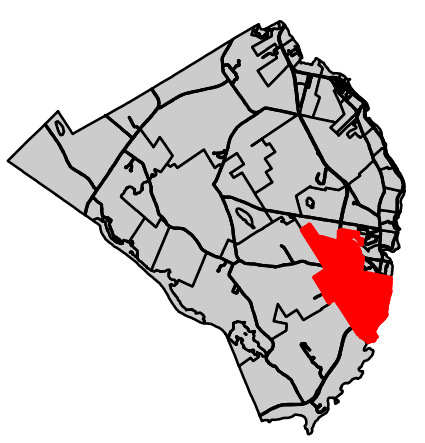
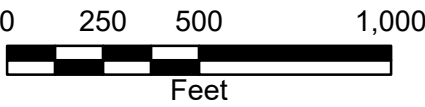
TOWN OF  
**NORTHPORT**  
WALDO COUNTY  
MAINE



**LEGEND**

- Lot Hook
- Private Right of Way
- Other Roads
- Sub-lot Line
- Transmission Line ROW
- River, Stream or Pond
- Town Line
- Parcel

For Assessment Purposes. Not  
to be used for conveyances.

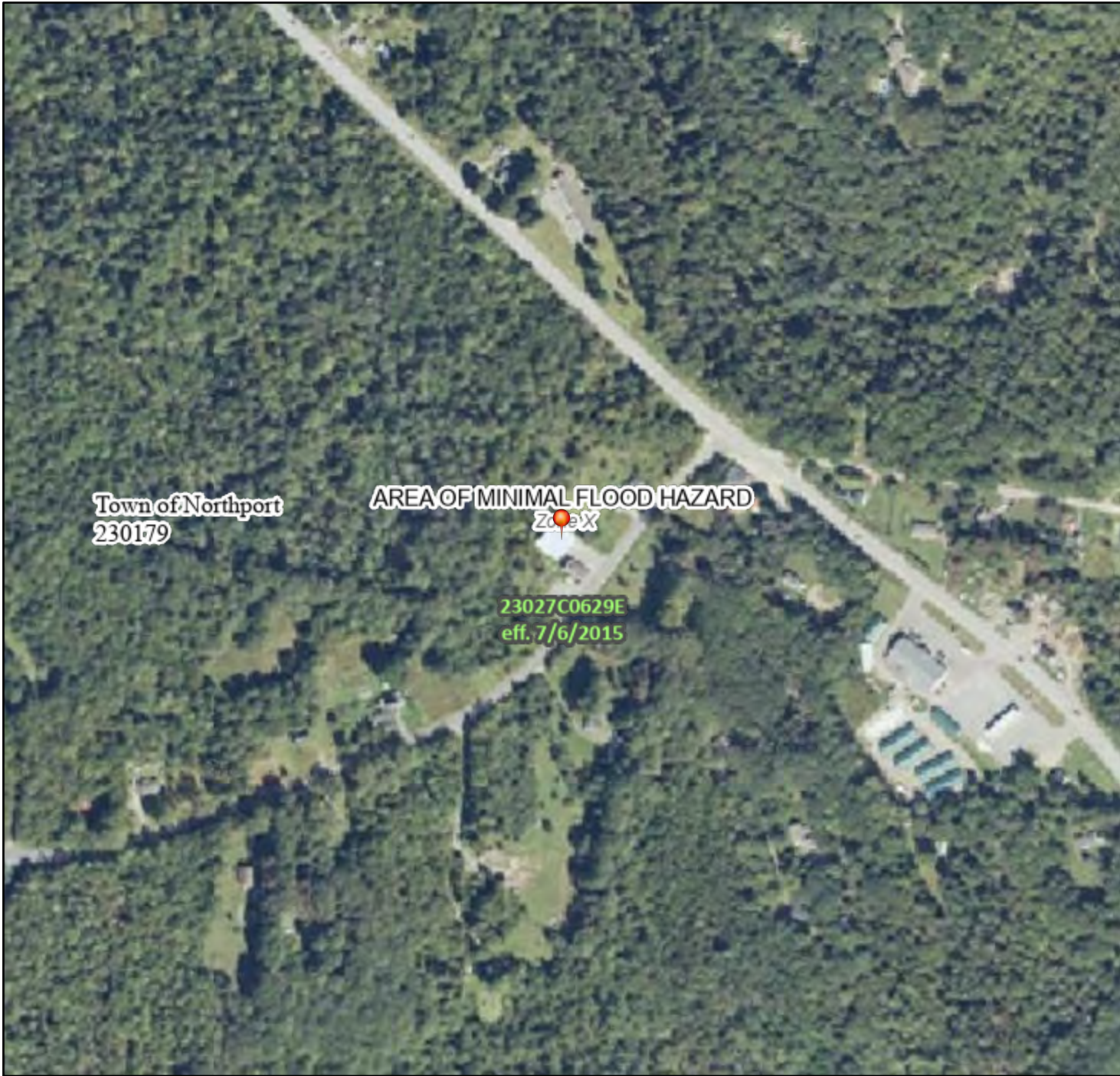




# National Flood Hazard Layer FIRMMette



68°58'7"W 44°20'27"N



1:6,000

68°57'30"W 44°20'1"N

Basemap Imagery Source: USGS National Map 2023

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **12/12/2024 at 7:54 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

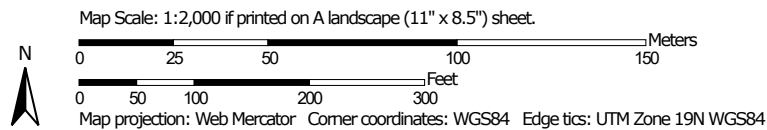
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



# Hydrologic Soil Group—Waldo County, Maine



Soil Map may not be valid at this scale.



**Natural Resources  
Conservation Service**









Web Soil Survey  
National Cooperative Soil Survey

12/19/2024  
Page 1 of 4

**MAP LEGEND****Area of Interest (AOI)**
 Area of Interest (AOI)
**Soils****Soil Rating Polygons**





-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

**Soil Rating Lines**

-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

**Soil Rating Points**

-  A
-  A/D
-  B
-  B/D

-  C
-  C/D
-  D
-  Not rated or not available

**Water Features**
 Streams and Canals
**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**
 Aerial Photography
**MAP INFORMATION**

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Waldo County, Maine  
Survey Area Data: Version 24, Aug 26, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 11, 2021—Oct 29, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
BoB	Boothbay silt loam, 3 to 8 percent slopes	D	0.3	1.6%
LrC	Lyman-Rock outcrop complex, 8 to 15 percent slopes	D	0.1	0.7%
MaB	Madawaska fine sandy loam, 3 to 8 percent slopes	B	6.6	41.5%
PaB	Peru fine sandy loam, 3 to 8 percent slopes	C/D	3.0	19.0%
PbB	Peru fine sandy loam, 0 to 8 percent slopes, very stony	C/D	1.1	6.7%
Sw	Swanville silt loam, 0 to 3 percent slopes	C/D	4.9	30.5%
<b>Totals for Area of Interest</b>			<b>16.0</b>	<b>100.0%</b>

## Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

*Aggregation Method:* Dominant Condition

*Component Percent Cutoff:* None Specified

*Tie-break Rule:* Higher

**EROSION AND SEDIMENTATION CONTROL PLAN**  
**December 20, 2024**

**A. NARRATIVE**

Northport Town Office is proposing to demolish their existing office building and construct a new town office building that will connect to their existing fire station. Additionally, they are proposing to construct a new parking lot in the location of the existing office building. The town will be responsible for implementing this plan and for the required project maintenance through construction.

**1. Soil Types:**

Underlying soil in the area of development is Boothbay silt loam, which is primarily in the Hydrologic Group D with a portion of Group B in the location of the existing development. Attached is the USDA NRCS Soil Survey of the site.

**2. Existing Erosion Problems:**

There are no existing erosion conditions present.

**3. Critical Areas:**

There are no critical areas on the project parcel.

**4. Protected Natural Resources:**

The existing terrain in the area of the proposed development varies with slopes ranging from 0% - 5%. The site is located outside the 100-year flood plain (see attached FEMA map). The property has no mapped significant habitat areas (see attached Beginning with Habitat Map).

**5. Erosion Control Measures:**

Sediment barriers will be placed downgradient of the project area prior to construction. A sediment barrier detail is provided on the Plan Set. Erosion control blankets, Curlex I or equivalent, will be installed along the proposed drainage ditches and along banks with slopes greater than 3V:1H.

**6. Site Stabilization:**

Building construction and access drive construction are associated with the project. For these facilities, stabilization is a requirement after disturbed areas are opened. A specific set of construction notes is depicted on the Erosion Control Sheet, along with the details for sediment barriers (see Plan Set). Within these notes are limits on time after new exposure of mineral soil.

**B. IMPLEMENTATION SCHEDULE**

Erosion and sediment control measures shall be phased with the project as follows: Sediment barrier material (silt fence or bark mulch berm) will be placed prior to development. Soil disturbance will be subject to stabilization measures as outlined on the Erosion Control Detail Sheet and sequenced to minimize exposed soil. The primary construction objective is to 1) install the access road and 3) construct new building.



**C. EROSION AND SEDIMENTATION CONTROL PLAN**

Refer to Site Plan, depicting the required plan elements of: existing and proposed contours, legend, north arrow, title block, revision block, and areas for professional stamps, post-development land cover types and boundaries, critical areas, protected natural resources, locations of general features of development, locations of controls, and limits of construction disturbance. There are no existing problem areas, and none are shown.

**D. DETAILS AND SPECIFICATIONS**

Erosion and sedimentation control notes appear on the Site Plan & Site Detail sheets. The notes provide specific instruction on disturbance, stabilization, permanent and temporary measures, timing, and cold weather applications. These notes specify adherence to the standards contained in MaineDEP's 'Erosion and Sediment Control Handbook for Construction: Best Management Practices' manual for the specific elements of control.

**E. STABILIZATION PLAN**

Please refer to the Erosion Control Plan, outlining stabilization measures to be employed.

**F. WINTER STABILIZATION PLAN**

Please refer to the Erosion Control Plan, outlining winter stabilization measures to be employed.

**G. THIRD-PARTY INSPECTIONS**

No third-party inspections are proposed or anticipated.

**H. HOUSEKEEPING**

Surface water and groundwater quality shall be maintained according to the performance standards set forth in the Maine Stormwater Management law (38 MRSA § 420-D), Chapter 500, latest revision, Appendix C: Housekeeping. Specific issue to be addressed under Housekeeping:

**1. Spill Prevention:**

Controls will be used to prevent pollutants from being discharged from materials on site, including storage practices to minimize exposure of the materials to stormwater, and appropriate spill prevention, containment, and response planning and implementation.

**2. Groundwater Protection:**

During construction, liquid petroleum products and other hazardous materials with the potential to contaminate groundwater will not be stored or handled in areas of the site draining to an infiltration area. An "infiltration area" is any area of the site that by design or as a result of soils, topography and other relevant factors accumulates runoff that infiltrates into the soil. Dikes, berms, sumps, and other forms of secondary containment that prevent discharge to groundwater may be used to isolate portions of the site for the purposes of storage and handling of these materials.



**3. Fugitive Sediment and Dust:**

Actions will be taken to ensure that activities do not result in noticeable erosion of soils or fugitive dust emissions during or after construction. Oil will not be used for dust control. Operations during dry months, that experience fugitive dust problems, will wet down the access roads as needed. Operations during wet months that experience tracking of mud off the site onto public roads will provide for sweeping of road areas prior to significant storm events.

**4. Debris and Other Materials:**

Litter, construction debris, and chemicals exposed to stormwater will be prevented from becoming a pollutant source.

**5. Trench or Foundation De-Watering:**

Excessive volumes of ponded water in trenches and foundations, and other area within the construction area will be removed from the ponded area, either through gravity or pumping, and will be spread through natural wooded buffers

**6. Non-Stormwater Discharges:**


The owner will identify and prevent contamination by non-stormwater discharges.

**7. Additional Requirements:**

Not applicable.

## Maine Aquifers

✓ Authoritative

 Halsted, Christian H  
State of Maine

### Summary

Maine Significant Sand and Gravel Aquifer polygons.

[View Full Details](#)

[Download](#)

### Details


 Dataset  
Feature Layer

 October 3, 2019  
Info Updated

 April 22, 2020  
Data Updated

 June 12, 2018  
Published Date

 Records: 9,253  
[View data table](#)

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I want to use this

Records: 9,253

 16 Beech Hill Rd, Northport, ME, 04...

AQUIFERID: 5,344

**SUBJECT PROPERTY**



# Sign 1

**TMSLIGHTING**

ESTABLISHED 1923



## Features

- Asymmetrical 20° reflector provides uniform coverage, even at close range
- Approved for indoor and outdoor applications
- Surge suppressor protects the internal components
- Practical options for application and design flexibility
- Quality components for extended lamp and component life

## Applications

The Sign 1 floodlight is ideal for illuminating signage up close or at medium range. The asymmetrical reflector focuses the beam, with attention to the vertical area, onto the target, minimizing spill.

It also provides adequate night time security lighting.

## Construction

High grade aluminum reflector and mounting arm, with stainless steel mounting hardware.

## Lamp

Operates with Cree™ LED (19W max.) or incandescent (100W max., A-19) sources. Specify 3000K, 3500K, or 4000K CCT for LED systems.

A dimmable, 17W LED, screw type lamp is also available (120V, PAR 38, E26 base, CCT 4000K).

Note: LED systems use 120-277V supply voltage, and are not compatible with 347V. Incandescent, and those using the 17W LED PAR 38 lamp, use a medium base socket (E26).

## Diffuser

Globe: clear and prismatic glass globes are available for greater diffusion and lamp protection.

Note: G3 is available with 15LED and 100IN max.

Only prismatic globes are available with LED systems.

Globes are not available with the 17W LED PAR 38 lamps.

## Option

Wire Guard: a steel, chrome-plated wire guard is available for lamp protection against light projectiles, wildlife, and serves as a vandal deterrent.

## Ballast / Driver

Integral and remote, ballasts and drivers are available for indoor and outdoor locations.

Ballasts are integral and electronic; efficient with a high power factor greater than 90%, and quiet with an "A" sound rating.

The LED source is controlled by an advanced electronic driver that delivers consistent power.

## Surge Suppressor

All 120V, 277V, and universal voltage LED luminaires are equipped with an integral, 6kV surge suppressor.

## Dimming

The LED dimming option is the 0-10V current-sinking type.

Note: The dimming option is available to systems with 120-277V supply voltage only.

Use a current-sinking dimming system (by others) for LED dimming.

Compatibility of this product is not guaranteed with all control systems.

# Sign 1

**TMSLIGHTING**

ESTABLISHED 1923



## Features

- Asymmetrical 20° reflector provides uniform coverage, even at close range
- Approved for indoor and outdoor applications
- Surge suppressor protects the internal components
- Practical options for application and design flexibility
- Quality components for extended lamp and component life

## Emergency

For LED systems, integral and remote emergency back-ups are available, in the standard temperature and cold temperature type.

Note: The emergency option is available with 120-277V systems only.

The test switch and indicator light would be remote.

EM Integral LED: (min. operating temp. +5C/+40F)

EMR Remote LED: (20 ft. / 6.096 m max. distance from EM to LED; min. operating temp. +5C/+40F; dry location mounting)

EMC Integral LED with Cold Pack: (min. operating temp. -20C/-4F)

EMCR Remote LED with Cold Pack: (20 ft. / 6.096 m max. distance from EM to LED; min. operating temp. -20C/-4F)

## Finish

Available in several TMS specialty brushed, plated, and powder-coated finishes; see the TMS "Finishes and Diffusers" chart. Custom RAL finishes are available by special order.

Note: The reflector would be finished with white on the inside, and the specified color on the outside. Textured finishes are applied to all areas of the reflector.

## Mounting

Mount on a flat surface, directly over a standard 4" electrical junction box.

Follow the installation instructions and adhere to your local electrical code.

## Mounting Accessories

Aiming Knuckle: ratcheted aiming knuckle allows vertical adjustment of the reflector (115° range in each direction; fits 3/4" NPT mounting arm).

## Compliances

QPS-C/US, or UL-C/US certified to UL1598 standards. Rated IP20 for use in dry, indoor locations, or IP23 for use in dry to wet locations, indoor and outdoor.

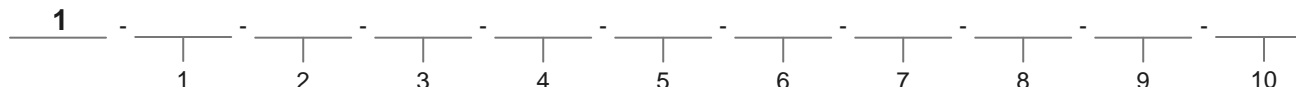
The Consultants Europe (CE) listing is available upon request.



# Sign 1

**TMSLIGHTING**

ESTABLISHED 1923



Project: \_\_\_\_\_  
Type: \_\_\_\_\_  
Quantity: \_\_\_\_\_

Notes:

## 1 • Lamping

100IN: 100W INC  
17LED: 17W LED (supplied)  
15LED: 15W LED (CRI 80)  
19LED: 19W LED (CRI 80)

## 2 • LED CCT (color temp.)

—: None  
30K: 3000K  
35K: 3500K  
40K: 4000K

## 3 • Voltage

120: 120V  
277: 277V  
347: 347V

## 4 • Ballast / Driver

—: None  
WM: Wall mount (integral)  
N1: Remote, indoor mount (NEMA 1)  
N4: Remote, outdoor mount (NEMA 4)

## 5 • Finish

### Specialty

BR: Brushed aluminum

### Plated

AN: Anodized

### Powder-coated

F05: White  
F06: Clay brown  
F08: Midnight blue  
F09: Pewter  
F10: Fire red  
F13: Forest green  
F14: Sunshine yellow  
F15: Matte black  
F16: Gloss black  
F18: Flat aluminum  
F19: Mirror silver  
F21: Architectural bronze  
F24: Melted platinum (textured)  
F25: Melted gold (textured)  
F26: Melted copper  
F31: Silver metallic  
F32: Bronze metallic  
F33: Pyrite bronze  
F34: Burnt orange  
RAL: RAL custom color (specify)

## 6 • Dimming

—: None  
DIML: LED dimming (0-10V; current-sinking)  
Use a current-sinking dimming system (by others) with this option. Compatibility is not guaranteed with all control systems.

## 7 • Emergency

—: None  
EM: Integral LED  
EMC: Integral LED with cold pack  
EMR: Remote LED  
EMCR: Remote LED with cold pack

## 8 • Globes

—: None  
G1: Clear, elongated globe  
G3: Prismatic, elongated globe

## 9 • Wire Guard

—: None  
W10: Wire guard - 10"

## 10 • Accessories

—: None  
AK: Aiming knuckle

Note: Some options may not be compatible with others. To ensure compatibility between options, go to [tmslighting.com](http://tmslighting.com), on the "details" page of this luminaire, and use the configuration tool.



# Sign 1

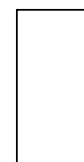
**TMSLIGHTING**

ESTABLISHED 1923

## Dimensions

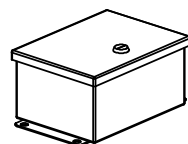
LED driver wall  
mount enclosure

3.5"  
(89 mm)



6"  
(152 mm)

LED driver remote  
mount enclosure



27"  
(686 mm)

20"  
(508 mm)

10" dia.  
(254 mm)

20°

## Custom

TMS Lighting can customize many of our standard fixtures. The dimensions, lamp types, enclosure and colors could be modified to suit your lighting and architectural requirements. Contact your local representative for more details: <http://www.tmslighting.com/info/agents>

Specifications are subject to change without notice.

## TMS Lighting Inc.

247A Summerlea Road,  
Brampton, Ontario,  
Canada. L6T 4E1

**Web Site:** [tmslighting.com](http://tmslighting.com)

**North America:** (905) 793-1174

**Toll-free:** (866) 793-1174

**Fax:** (905) 793-1175

**UK & Europe:** 44-1474-250-654

## DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

## SPECIFICATION FEATURES

### Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

### Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

### Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized

electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

### Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

### Warranty

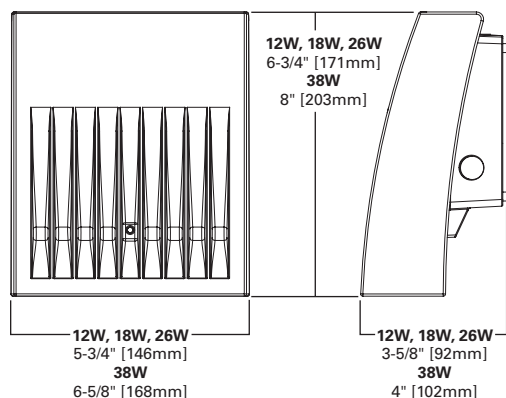
Five-year warranty.



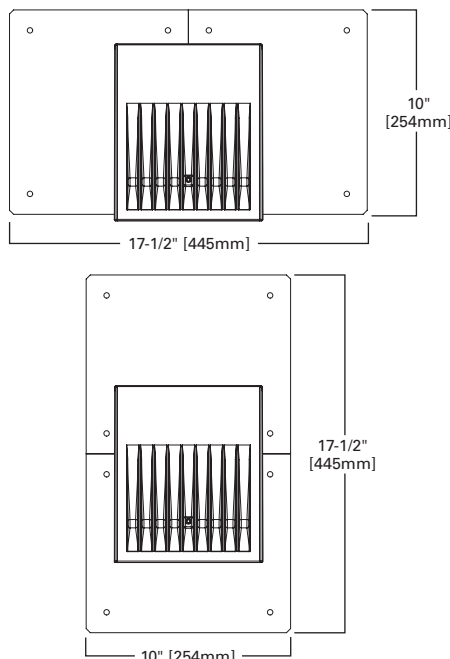
## XTOR CROSSTOUR LED

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

## DIMENSIONS



## ESCUTCHEON PLATES



## CERTIFICATION DATA

UL/cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
ADA Compliant  
NOM Compliant Models  
IP66 Ingress Protection Rated  
Title 24 Compliant  
DesignLights Consortium® Qualified\*

## TECHNICAL DATA

40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

## EPA

Effective Projected Area (Sq. Ft.):  
XTOR1B, XTOR2B, XTOR3B=0.34  
XTOR4B=0.45

## SHIPPING DATA:

Approximate Net Weight:  
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]



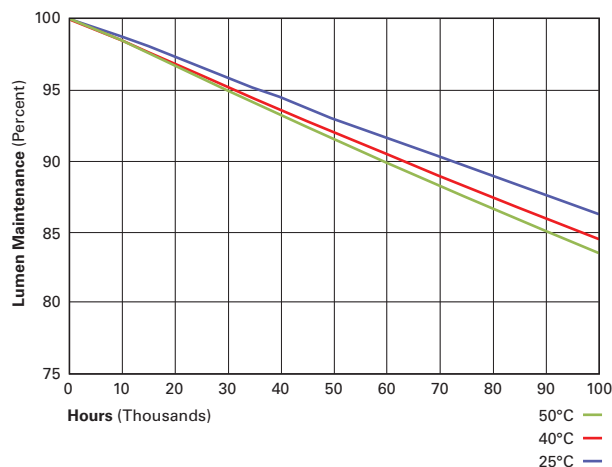
## POWER AND LUMENS BY FIXTURE MODEL

LED Information	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Delivered Lumens (Wall Mount)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,575	4,269	4,205	3,995
Delivered Lumens (With Flood Accessory Kit) <sup>1</sup>	1,005	990	940	1,495	1,472	1,399	2,099	2,068	1,965	3,168	3,121	2,965
B.U.G. Rating <sup>2</sup>	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W	38W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

## LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
<b>XTOR1B Model</b>		
25°C	> 90%	255,000
40°C	> 89%	234,000
50°C	> 88%	215,000
<b>XTOR2B Model</b>		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
<b>XTOR3B Model</b>		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
<b>XTOR4B Model</b>		
25°C	> 89%	222,000
40°C	> 87%	198,000
50°C	> 87%	184,000



## CURRENT DRAW

Voltage	Model Series			
	XTOR1B	XTOR2B	XTOR3B	XTOR4B
120V	0.103A	0.15A	0.22A	0.34A
208V	0.060A	0.09A	0.13A	0.17A
240V	0.053A	0.08A	0.11A	0.17A
277V	0.048A	0.07A	0.10A	0.15A
347V	0.039A	0.06A	0.082A	0.12A



## ORDERING INFORMATION

Sample Number: XTOR2B-W-WT-PC1

Series <sup>1</sup>	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
<b>XTOR1B</b> =Small Door, 12W <b>XTOR2B</b> =Small Door, 18W <b>XTOR3B</b> =Small Door, 26W <b>XTOR4B</b> =Medium Door, 38W	<b>[Blank]</b> =Bright White (Standard), 5000K <b>W</b> =Neutral White, 4000K <b>Y</b> =Warm White, 3000K	<b>[Blank]</b> =Carbon Bronze (Standard) <b>WT</b> =Summit White <b>BK</b> =Black <b>BZ</b> =Bronze <b>AP</b> =Grey <b>GM</b> =Graphite Metallic <b>DP</b> =Dark Platinum	<b>PC1</b> =Photocontrol 120V <sup>2</sup> <b>PC2</b> =Photocontrol 208-277V <sup>2,3</sup> <b>347V</b> =347V <sup>4</sup> <b>HA</b> =50°C High Ambient <sup>4</sup>	<b>WG/XTOR</b> =Wire Guard <sup>5</sup> <b>XTORFLD-KNC</b> =Knuckle Floodlight Kit <sup>6</sup> <b>XTORFLD-TRN</b> =Trunnion Floodlight Kit <sup>6</sup> <b>XTORFLD-KNC-WT</b> =Knuckle Floodlight Kit, Summit White <sup>6</sup> <b>XTORFLD-TRN-WT</b> =Trunnion Floodlight Kit, Summit White <sup>6</sup> <b>EWP/XTOR</b> =Escutcheon Wall Plate, Carbon Bronze <b>EWP/XTOR-WT</b> =Escutcheon Wall Plate, Summit White

### NOTES:

- DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to [www.designlights.org](http://www.designlights.org) for details.
- Photocontrols are factory installed.
- Order PC2 for 347V models.
- Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination.
- Wire guard for wall/surface mount. Not for use with floodlight kit accessory.
- Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

## STOCK ORDERING INFORMATION

12W Series	18W Series	26W Series	38W Series
<b>XTOR1B</b> =12W, 5000K, Carbon Bronze	<b>XTOR2B</b> =18W, 5000K, Carbon Bronze	<b>XTOR3B</b> =26W, 5000K, Carbon Bronze	<b>XTOR4B</b> =38W, 5000K, Carbon Bronze
<b>XTOR1B-WT</b> =12W, 5000K, Summit White	<b>XTOR2B-W</b> =18W, 4000K, Carbon Bronze	<b>XTOR3B-W</b> =26W, 4000K, Carbon Bronze	<b>XTOR4B-W</b> =38W, 4000K, Carbon Bronze
<b>XTOR1B-PC1</b> =12W, 5000K, 120V PC, Carbon Bronze	<b>XTOR2B-WT</b> =18W, 5000K, Summit White	<b>XTOR3B-WT</b> =26W, 5000K, Summit White	<b>XTOR4B-WT</b> =38W, 5000K, Summit White
<b>XTOR1B-W</b> =12W, 4000K, Carbon Bronze	<b>XTOR2B-PC1</b> =18W, 5000K, 120V PC, Carbon Bronze	<b>XTOR3B-PC1</b> =26W, 5000K, 120V PC, Carbon Bronze	<b>XTOR4B-PC1</b> =38W, 5000K, 120V PC, Carbon Bronze
<b>XTOR1B-W-PC1</b> =12W, 4000K, 120V PC, Carbon Bronze	<b>XTOR2B-W-PC1</b> =18W, 4000K, 120V PC, Carbon Bronze		<b>XTOR4B-W-PC1</b> =38W, 4000K, 120V PC, Carbon Bronze

**LITEBOX<sup>®</sup>**  
disk **tradeSELECT<sup>™</sup>**



**FEATURES**

- 4" and 6" disk downlight delivering 700 or 1000 lumens
- Switchable CCT – 2700K/3000K/3500K/4000K
- 90 CRI
- Universal Voltage (120-277V)
- Phase Dimmable to 5% (120V Triac/ELV)
- Surface mount directly to standard J-Box (by others)
- Optional accessory for retrofit into incandescent recessed cans



**SERVICE PROGRAMS**



**SPECIFICATIONS**

**CONSTRUCTION**

- Durable aluminum low profile trim
- Suitable for New Construction or Remodel, IC or Non-IC applications
- Can be directly mounted to most standard J-Boxes, ideal for areas with limited plenum space
- Optional accessory kits available to retrofit into 4", 5" or 6" recessed downlight housings

**OPTICS**

- Reliable back-Lit LED technology
- Durable, polycarbonate twist-on lens
- Light distribution is uniform and visually comfortable

**ELECTRICAL**

- LED array with 3 SDCM color consistency
- Long LED life: Maintains 70% of lumen output at 54,000 hours of operation, L70 at >54,000 hours (TM-21)
- Switchable CCT (2700K/3000K/3500K/4000K)

**ELECTRICAL (CONTINUED)**

- 90+ CRI with R9 >50
- High efficiency integral driver with universal 120V-277V, 50/60Hz
- All models have flicker-free dimming with 120V Triac or ELV phase cut to 5%
- See Additional Information section for a list of recommended dimmers
- EMI: Meets Class A (<24dba) noise rating, FCC CFR 47 Part 15 Class B
- ≥0.9 Power Factor, <20% THD

**INSTALLATION**

- Installs directly to most common 3-1/2" or 4" octagonal and round junction boxes with a minimum 1-1/2" depth including fire rated (by others)
- Mount with screws through pan keyholes
- Twist-lock lens is easily secured with no visible hardware
- CCT can be selected at installation with integral switch on the driver

**CERTIFICATIONS**

- cETLus listed to UL1598
- Can be used in direct contact with insulation (IC Rated)
- Suitable for wet locations, covered ceiling
- Suitable for use in clothes closets when installed in accordance to N.E.C. 410.16
- ENERGY STAR<sup>®</sup> certified
- Meets CA Title 24 High Efficacy (JA8-2019) requirements

**WARRANTY**

- 5 year warranty

KEY DATA	
Lumen Range	671-957
Wattage Range	8.2-11.5
Efficacy Range (LPW)	82-87
Reported Life (Hours)	L70 / >54,000
Input Current (mA)	68-96

# LBSD-RD

DISK SURFACE MOUNT ROUND DOWNLIGHT

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	



## ORDERING GUIDE

Example: LBSD-4RD-CS9-WH

CATALOG #

## HOUSING

LBSD		CS9	WH
Model/CCT Configuration	Aperture/Shape/Function	CCT/CRI	Trim Color
LBSD Disk Surface Mount, Switchable CCT, 120-277V with Phase Dimming (120V Triac/ELV) to 5% <sup>1</sup>	<b>4RD</b> 4" Round, Direct J-Box Mount, 700 Lumens <b>6RD</b> 6" Round, Direct J-Box Mount, 1000 Lumens	<b>CS9</b> Switchable CCT, 90 CRI 2700K/3000K/3500K/4000K	<b>WH</b> White

### Accessories

- ☐ **LBSD-4-MTGKIT** Accessory Kit, to retrofit LBSD-4RD into existing 4" recessed housings
- ☐ **LBSD-6-MTGKIT** Accessory kit, to retrofit LBSD-6RD into existing 5" or 6" recessed housings

### Notes:

- 1 Phase (Triac/ELV) dimming when connected to 120V circuit only.

## PERFORMANCE SUMMARY

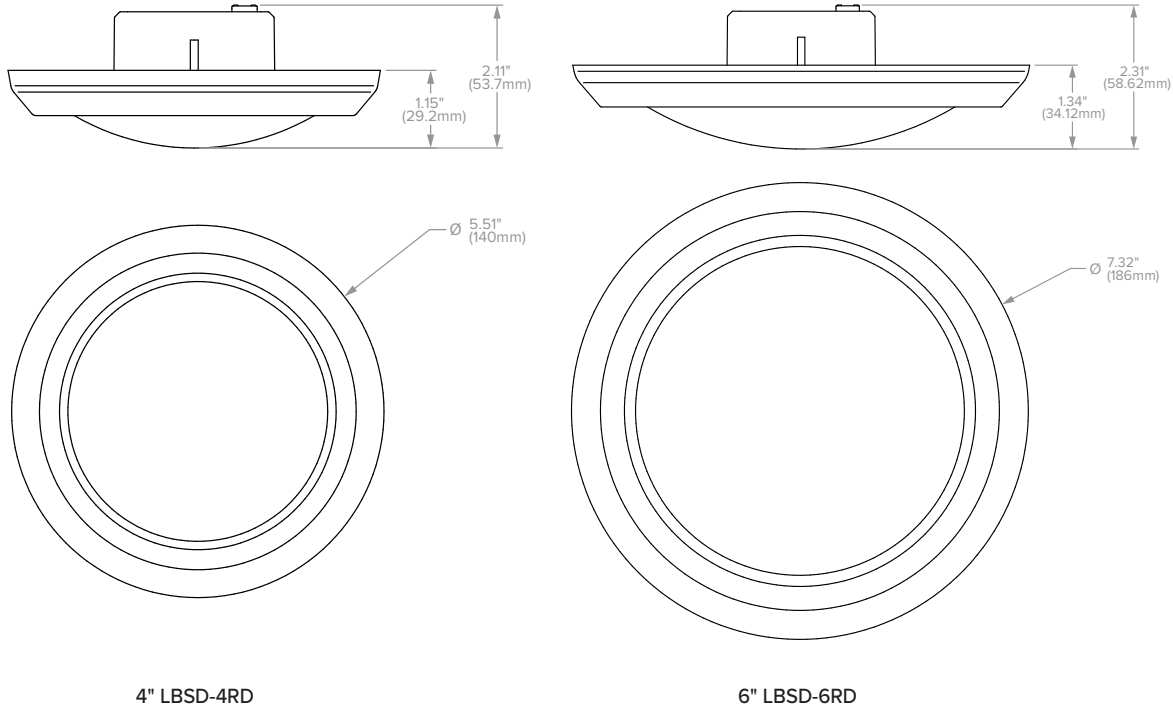
Nominal Aperture	Nominal Lumens	Cat #	@ CCT	CRI	Delivered Lumens	Watts	LPW
4"	700	LBSD-4RD-CS9-WH	2700K	90	671	8.2	82
4"	700		3000K	90	693	8.2	85
4"	700		3500K	90	705	8.2	86
4"	700		4000K	90	712	8.2	87
6"	1000	LBSD-6RD-CS9-WH	2700K	90	938	11.5	82
6"	1000		3000K	90	952	11.5	83
6"	1000		3500K	90	959	11.5	83
6"	1000		4000K	90	957	11.5	83

# LBSD-RD

DISK SURFACE MOUNT ROUND DOWNLIGHT

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## DIMENSIONS



## PHOTOMETRY

### LBSD-4RD-CS9-WH

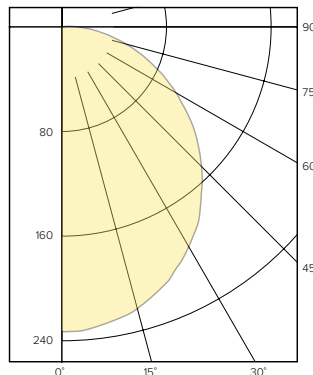
#### LUMINAIRE DATA

Test No.	21.01425-02
Description	4" Disk, Switchable CCT, @3000K, 90 CRI
Delivered Lumens	693
Watts	8.2
Efficacy	83
Mounting	Surface
Beam Angle (FWHM)	1.2

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	297	42.9
0-60	522	75.4
0-90	687	99.2
0-180	693	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	236
5	235
15	226
25	208
35	184
45	153
55	120
65	85
75	52
85	23
90	12

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	24732
55°	23097
65°	21228
75°	18996
85°	17279

\*Candela/Square Meter

## PHOTOMETRY (CONTD.)

### LBSD-6RD-CS9-WH

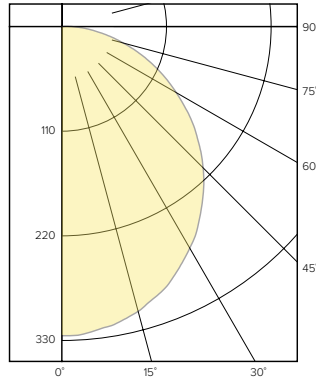
#### LUMINAIRE DATA

Test No.	21.01427-04
Description	6" Disk, Switchable CCT, @3000K, 90 CRI
Delivered Lumens	952
Watts	11.5
Efficacy	83
Mounting	Surface
Beam Angle (FWHM)	1.2

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	415	43.6
0-60	715	76.6
0-90	929	99.6
0-180	952	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	332
5	330
15	316
25	291
35	256
45	214
55	167
65	117
75	68
85	27
90	11

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	17702
55°	16318
65°	14498
75°	12023
85°	8540

\*Candela/Square Meter

## ADDITIONAL INFORMATION

### Dimming Compatibility

For more details and recommended dimmer list, see Dimming Compatibility Information on [currentlighting.com/prescolite](http://currentlighting.com/prescolite).

### J-box Compatibility

LiteBox® Disk Surface Mount downlights are compatible with many standard 3-1/2" octagonal and round J-Boxes with 1-1/2" minimum depth. Fire rated J-Boxes may also be used.

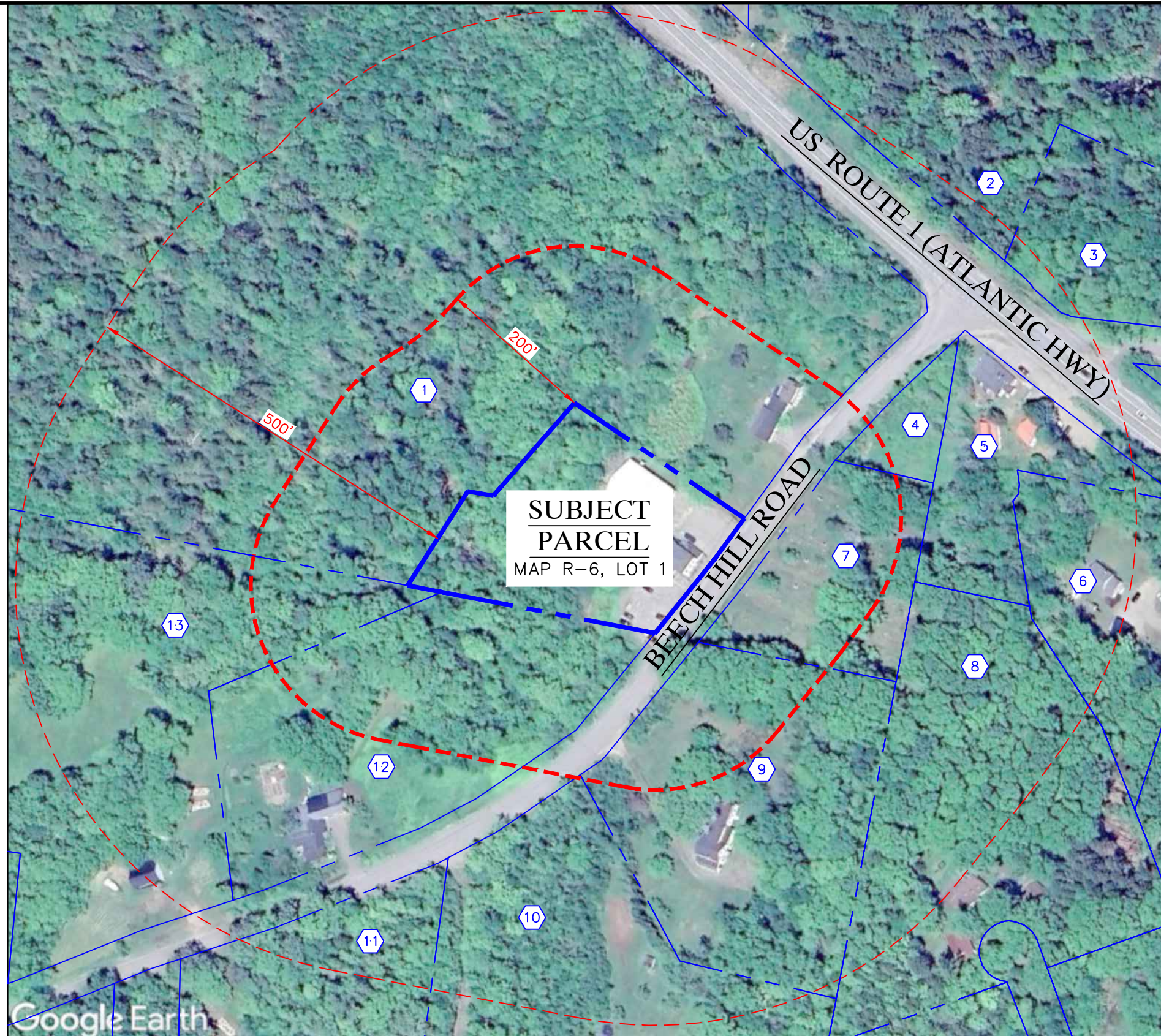


### Retrofit Accessories

For use in existing incandescent recessed housings with nominal dimensions per installation instructions provided with the accessory.



H:\Land Projects\311806\Drawings\1806-1\_Civil.dwg



0 150  
SCALE: 1" = 150'

**Gartley & Dorsky**  
ENGINEERING SURVEYING  
CAMDEN, MAINE (207) 236-4365  
DAMARISCOTTA, MAINE (207) 790-5005  
WWW.GARTLEYDORSKY.COM

### ABUTTING LAND OWNERS WITHIN 500'

SYMBOL	OWNER	MAP - LOT
1	MAGNIFICENT SEVEN LIMITED PARTNERSHIP WILLOW ROAD HAILEY, ID 83333	MAP R-6, LOT 34
2	MAGNIFICENT SEVEN LIMITED PARTNERSHIP WILLOW ROAD HAILEY, ID 83333	MAP U-15, LOT 2
3	THOMAS SCHLEICHER 36 CLIFF ROAD NORTHPORT, ME 04849	MAP U-15, LOT 1
4	ELIN M POTTER 68 PENINSULA ROAD JEFFERSON, ME 04849	MAP R-6, LOT 35
5	SPARK REAL ESTATE LLC 77 W MINE STREET MONROE, ME 04951	MAP U-15, LOT 19
6	DANIELLA MACLEOD PO BOX 722 BELFAST, ME 04915	MAP U-15, LOT 18B
7	SATURDAY COVE CEMETERY BEECH HILL ROAD	CEMETERY
8	NEAL P., & TRACY L. FLEWELLING 57 OAK DRIVE NORTHPORT, ME 04849	MAP U-15, LOT 18-8
9	JOAN WILLOE 21 BEECH HILL RD NORTHPORT, ME 04849	MAP R-6, LOT 2
10	KAREN FIELD 11 DRAGONFLY DRIVE NORTHPORT, ME 04849	MAP R-6, LOT 2A
11	DANIEL JR., & SHERYLL L SMALL PO BOX 421 LINCOLNVILLE, ME 04849	MAP R-6, LOT 52
12	NANCY D BROWN 26 BEECH HILL ROAD NORTHPORT, ME 04849	MAP R-6, LOT 3
13	DANIEL I. SMALL, JR. PO BOX 421 LINCOLNVILLE, ME 04849	MAP R-6, LOT 3-1

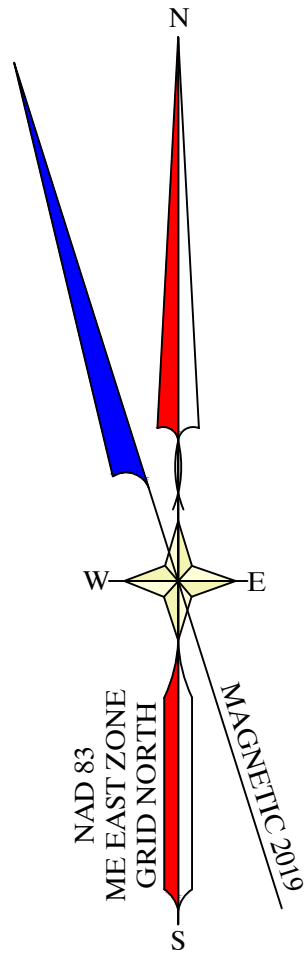
ABUTTERS WITHIN 500'  
16 BEECH HILL ROAD  
NORTHPORT, MAINE

DECEMBER 17, 2024

PROJ. NO. 2018-061

SK1





DONALD SAMMIS  
BOOK 404, PAGE 1  
TAX MAP R6, LOT 34

### TOWN OF NORTHPORT

BOOK 633, PAGE 293  
BOOK 2304, PAGE 150  
BOOK 373, PAGE 257  
TAX MAP R6, LOT 1  
1.31 ACRES

DANIEL I. SMALL JR.  
BOOK 3622, PAGE 225  
TAX MAP R6, LOT 3-1

NANCY D. BROWN  
BOOK 3680, PAGE 276  
TAX MAP R6, LOT 3

DONALD SAMMIS  
BOOK 404, PAGE 1  
TAX MAP R6, LOT 34

MDOT BENCHMARK DISK "CB-1-1"  
ELEV. = 192.46' (SEE NOTE 4)

SIGHT DISTANCE TAKEN AT  $\pm 4'$  OFF OF TRAVELED LANE DUE TO VEGETATION SOUTHWEST OF SIGHT DISTANCE LOCATION; VEGETATION WOULD NEED TO BE REMOVED TO ACHIEVE 311' SIGHT DISTANCE

#### LEGEND

- SURVEYED PROPERTY LINE
- APPROXIMATE PROPERTY LINE
- FORMER/HISTORIC PROPERTY LINE
- IRON ROD FOUND
- EXISTING CONTOUR
- SPOT ELEVATION
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- ELECTRIC METER
- GRAVESTONE
- METAL FENCE
- SIGN
- MAIL BOX
- CONIFEROUS TREE
- DECIDUOUS TREE
- VEGETATION
- WETLANDS
- STONE WALL

#### GRAPHIC SCALE



#### SURVEYOR'S NOTES:

- PROPERTY LINES ARE BASED ON PLAN REFERENCE #1. RESEARCH WAS LIMITED TO THE PERIOD BETWEEN THE DATE OF PLAN REFERENCE #1 AND THE DATE OF THIS PLAN PER AGREEMENT WITH CLIENT.
- ALL IRON PINS SET ARE 5/8" REBAR MARKED WITH A PLASTIC SURVEYOR'S CAP STAMPED "G4D 2290-2366-2424-2473".
- ALL DIRECTIONS ARE REFERENCED TO THE MAINE COORDINATE SYSTEM OF 1983 (2011), EAST ZONE, BASED ON AN RTK GPS SURVEY. ALL DISTANCES ARE GRID DISTANCES. THE COMBINED FACTOR IS 0.99991675.
- ELEVATIONS ARE REFERENCED TO NAVD 1988 BASED ON STATIC GPS OBSERVATIONS PERFORMED ON APRIL 16, 2019 AND PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING USER SERVICE (OPUS). THE PUBLISHED ELEVATION OF MDOT BM CB-1-1 IS 192.15'. THE ELEVATION DETERMINED BY AND USED FOR THIS SURVEY IS 192.46'.
- THIS PLAN IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED ON APRIL 16, 2019.
- OWNER INFORMATION IS TAKEN FROM THE TOWN OF NORTHPORT TAX COMMITMENT DATED 2018.
- BOOKS AND PAGES REFERRED TO ON THIS PLAN ARE RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS.

#### PLAN REFERENCES:

- "BOUNDARY SURVEY OF TOWN OF NORTHPORT PROPERTY" BY DANIEL I. SMALL JR., DATED OCTOBER 2, 2002 AND RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS PLAN BOOK 18, PAGE 277

#### CERTIFICATION:

TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, AND IN MY PROFESSIONAL OPINION, THIS SURVEY CONFORMS TO THE STANDARDS OF PRACTICE PROMULGATED BY THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS WITH THE FOLLOWING EXCEPTIONS:  
NO WRITTEN REPORT PREPARED  
MONUMENTS WERE NOT SET AT ALL MISSING CORNERS

### BOUNDARY & TOPOGRAPHIC SURVEY

SCALE: 1" = 20'

DATE: APRIL 24, 2019

CHECKED BY: JAD

DRAWN BY: AW, MS

NO.

REVISIONS

DATE

### TOWN OF NORTHPORT

LOCATION: 16 BEECH HILL ROAD

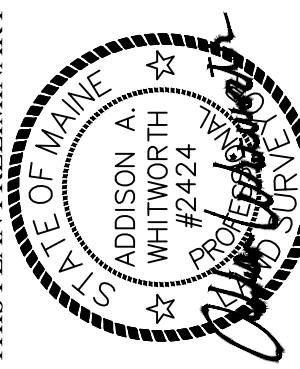
TOWN: NORTHPORT

COUNTY: WALDO

STATE: MAINE

**Gartley & Dorsky**  
ENGINEERING SURVEYING  
59 Union Street, Unit 1, P.O. Box 1031 Camden, ME 04843-1031  
Ph: (207) 236-4365 Fax: (207) 236-3055 Toll Free: 1-888-282-4365  
165 Main Street Suite 2F, P.O. Box 1072 Damariscotta, Maine 04543  
Ph: (207) 790-5005

THIS PLAN PRELIMINARY



WITHOUT SIGNATURE

PROJ. NO. 2018-061

V1



CONSTRUCTION NOTES:

- ALL CONSTRUCTION MUST COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL LAWS.
- CONTRACTOR SHALL CONTACT DIG SAFE, AND COORDINATE WITH THE TOWN, UTILITY COMPANIES, AND EMERGENCY SERVICES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGED UTILITIES DURING CONSTRUCTION.
- ALL DISTURBED SLOPES BETWEEN 3:1 AND 2:1 SHALL BE STABILIZED WITH AMERICAN EXCELSIOR CURLEX I EROSION CONTROL BLANKET OR EQUAL. SLOPES GREATER THAN 2:1 SHALL BE STABILIZED WITH AMERICAN EXCELSIOR CURLEX II OR EQUAL. SLOPES GREATER THAN 1.5:1 SHALL BE STABILIZED WITH RIPRAP PER ENGINEER.
- ALL DISTURBED SOILS SHALL BE LOAMED (4" MIN.), SEEDED AND MULCHED.
- ALL DISTURBED GRAVEL AND PAVEMENT SHALL BE RESTORED TO ORIGINAL CONDITIONS.
- EROSION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH THE LATEST VERSION OF "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES".
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE NOT EXACT, NOR CAN IT BE ASSUMED THAT ALL EXISTING UTILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SAFE TRAFFIC FLOW THROUGH THE CONSTRUCTION AREA AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ALL NECESSARY PRECAUTIONS TO CLEAN INADVERTENT EQUIPMENT FLUID DISCHARGE IN OR NEAR ANY WATER COURSE.
- ALL EXISTING FEATURES (TREES, SIGNS, ETC.) SHALL BE PROTECTED DURING CONSTRUCTION, OR RESTORED PRIOR TO COMPLETION OF THE PROJECT. THERE IS NO ADDITION COST FOR BRACING OF UTILITY POLES.
- ALL EXISTING PLANTINGS SHALL BE PROTECTED OR PRESERVED (TRANSPLANT AND/OR RELOCATED) TO THE GREATEST EXTENT POSSIBLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WORK SITE SAFETY DURING WORKING AND NON-WORKING HOURS. APPROPRIATE SIGNAGE AND BARRIERS SHALL BE USED DURING THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING PROJECT DESIGN PER CONSTRUCTION DRAWINGS.
- CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A WATER MANAGEMENT PLAN, IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL PERMITS PREVIOUSLY OBTAINED.
- ALL EXISTING SIGNS SHALL BE RESET FOLLOWING CONSTRUCTION.
- ENTRANCE SLABS AND SIDEWALKS ADJACENT TO THE BUILDING MUST HAVE NON-FROST SUSCEPTIBLE STRUCTURAL FILL TO A DEPTH OF AT LEAST 4.5 FEET BELOW THE TOP OF ENTRANCE SLABS.
- MAIL BOX SHALL BE SET IN ACCORDANCE WITH LOCAL AND U.S.P.S STANDARDS.

GENERAL SITE NOTES:

- LOT INFORMATION:  
PHYSICAL ADDRESS:  
16 BEECH HILL ROAD, NORTHPORT, ME  
TAX MAP: R-6 LOT: 1  
LOT AREA: ±1.31 ACRES  
ZONING: MIXED USE - US ROUTE 1 (MU - US1)  
DEED: BK: 633 PG: 293  
BK: 2304 PG: 150  
BK: 373 PG: 257
- OWNER & APPLICANT:  
TOWN OF NORTHPORT  
16 BEECH HILL ROAD, NORTHPORT, MAINE 04849  
(207) 338-3819
- ARCHITECT:  
2A ARCHITECTS, LLC  
PO BOX 189, ROCKPORT, ME 04856  
(207) 236-6545
- ENGINEER & SURVEYOR:  
GARTLEY & DORSKY ENGINEERING & SURVEYING INC.  
59 UNION STREET UNIT 1, CAMDEN, ME 04843  
(207) 236-4365
- NOTES:
  - CURRENT & PROPOSED USE: TOWN OFFICE & FIRE STATION.
  - WETLAND IMPACT ±10,460 S.F.

LEGEND

- SURVEYED PROPERTY LINE
- APPROXIMATE PROPERTY LINE
- 5' PARKING SETBACK
- IRON ROD FOUND
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING UTILITY POLE
- EXISTING GUY ANCHOR
- EXISTING OVERHEAD UTILITY LINE
- EXISTING BELOW GROUND ELECTRIC (APPROXIMATE LOCATION)
- EXISTING ELECTRIC METER
- PROPOSED UTILITY POLE
- PROPOSED UNDERGROUND UTILITY LINE
- EXISTING SIGN
- EXISTING MAIL BOX
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER CATCH BASIN
- PROPOSED UNDERDRAIN
- SEPTIC SYSTEM TEST PIT
- PROPOSED SANITARY GRAVITY LINE
- PROPOSED SANITARY FORCE MAIN
- EXISTING UNDERGROUND WATER LINE (APPROXIMATE LOCATION)
- PROPOSED WATER LINE
- EXISTING GRAVESTONE
- EXISTING METAL FENCE
- EXISTING VEGETATION
- EXISTING WETLANDS
- EXISTING DRAINAGE FLOW
- PROPOSED DRAINAGE FLOW

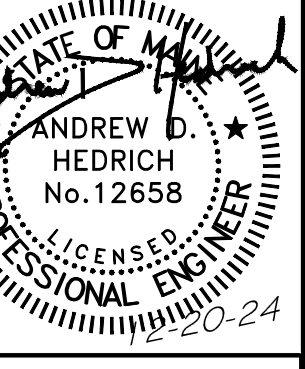
PARKING TABLE

	PARKING SPACES
PROPOSED PARKING AREA	20
BEECH HILL RD. PARALLEL PARKING	12
TOTAL	32
EXISTING PARKING SPACES	±14

SITE PLAN

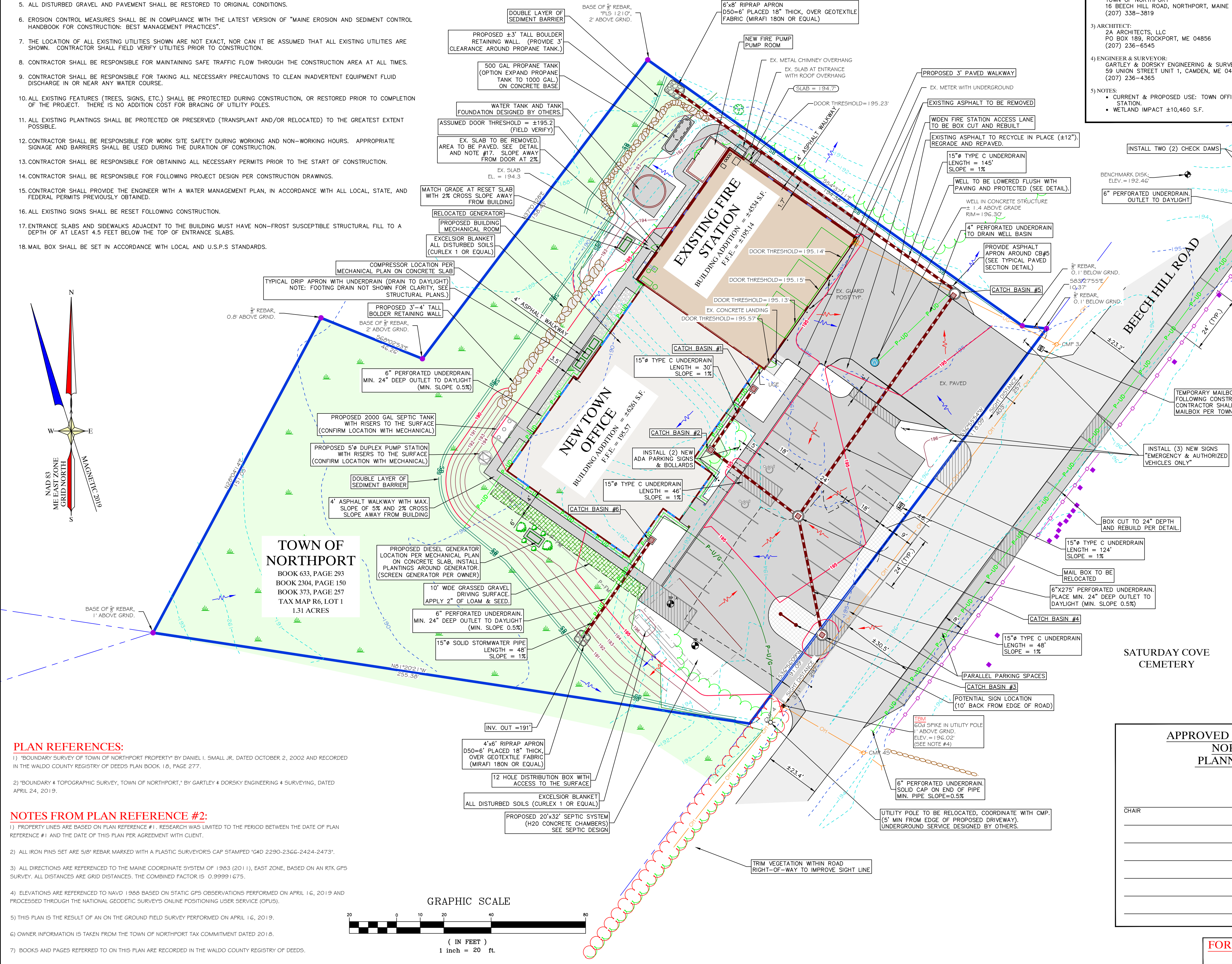
NORTHPORT TOWN OFFICE / FIRE STATION

Gartley & Dorsky ENGINEERING & SURVEYING



PROJ. NO. 2018-061

C1



LOCATION MAP NOT TO SCALE

APPROVED BY THE TOWN OF NORTHPORT PLANNING BOARD

DATE: \_\_\_\_\_

CHAIR

\_\_\_\_\_

\_\_\_\_\_

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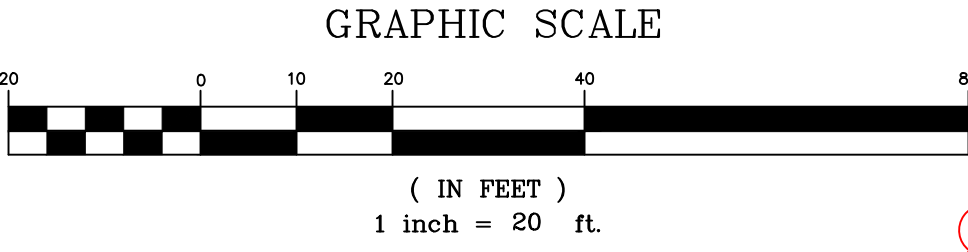
FOR PERMIT PURPOSES ONLY NOT FOR CONSTRUCTION

PLAN REFERENCES:

- "BOUNDARY SURVEY OF TOWN OF NORTHPORT PROPERTY" BY DANIEL I. SMALL JR., DATED OCTOBER 2, 2002 AND RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS PLAN BOOK 16, PAGE 277.
- "BOUNDARY & TOPOGRAPHIC SURVEY, TOWN OF NORTHPORT," BY GARTLEY & DORSKY ENGINEERING & SURVEYING, DATED APRIL 24, 2019.

NOTES FROM PLAN REFERENCE #2:

- PROPERTY LINES ARE BASED ON PLAN REFERENCE #1. RESEARCH WAS LIMITED TO THE PERIOD BETWEEN THE DATE OF PLAN REFERENCE #1 AND THE DATE OF THIS PLAN PER AGREEMENT WITH CLIENT.
- ALL IRON PINS SET ARE 5/8" REBAR MARKED WITH A PLASTIC SURVEYOR'S CAP STAMPED "G4D 2290-236G-2424-2473".
- ALL DIRECTIONS ARE REFERENCED TO THE MAINE COORDINATE SYSTEM OF 1983 (2011), EAST ZONE, BASED ON AN RTK GPS SURVEY. ALL DISTANCES ARE GRID DISTANCES. THE COMBINED FACTOR IS 0.99991675.
- ELEVATIONS ARE REFERENCED TO NAVD 1988 BASED ON STATIC GPS OBSERVATIONS PERFORMED ON APRIL 16, 2019 AND PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING USER SERVICE (OPUS).
- THIS PLAN IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED ON APRIL 16, 2019.
- OWNER INFORMATION IS TAKEN FROM THE TOWN OF NORTHPORT TAX COMMITMENT DATED 2016.
- BOOKS AND PAGES REFERRED TO ON THIS PLAN ARE RECORDED IN THE WALDO COUNTY REGISTRY OF DEEDS.





IN ORDER TO PROTECT THE SOIL AND WATER  
RESOURCES OF THIS DEVELOPMENT AND ADJACENT LANDS,  
THE FOLLOWING ACTIONS SHALL BE TAKEN:

## TEMPORARY MEASURES

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE USED.

- ### B. EROSION CONTROL/PERMANENT MEASURES

3. THE CONTRACTOR SHALL MAINTAIN THE SEEDED AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OF THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RE-FERTILIZED, RE-SEEDED AND RE-MULCHED.

4. PERMANENT WIDFLOWER STABILIZATION: PROVIDE 3" OF LOAM OVER DISTURBED OR NEWLY GRADED SLOPES. APPLY WIDFLOWER SEED MIX ACCORDING TO THE FOLLOWING MIX SPECIFICATIONS. ESTABLISH WIDFLOWER MIX PRIOR TO SEPTEMBER 1. MULCH SHALL BE WEED-SEED FREE STRAW MULCH, APPLIED AT THE RATE OF 4 BALES PER 1000 SQUARE FEET, AS DESCRIBED IN SECTION D, WINTER STABILIZATION. JUTE MULCH NETTING ANCHORING SHALL BE PROVIDED, APPLIED IN CONTINUOUS OVERLAPPING ROLLS WITH THE CONTOUR. NETTING SHALL BE APPLIED FROM THE BOTTOM OF SLOPES UP. 8 GAUGE, 6" PLAIN IRON WIRE STAPLES SHALL BE APPLIED PER THE MANUFACTURER'S RECOMMENDATION.

14% PERENNIAL LUPINE	12% BACHELORS' BUTTONS
7% LANCE LEAF COREOPSIS	8% BABY'S BREATH
6% DAVEY'S ROCKET	8% ROCKET LARKSPUR
6% PURPLE CONEFLOWER	8% SCARLET FLAX
5% BLACK EYED SUSAN	2% CATCHFLY
5% SIBERIAN WALLFLOWER	1% SPURRED SNAPDRAGON
4% CORN POPPY	
4% EVENING PRIMROSE	
2% BLANKET FLOWER	
2% SHASTA DAISY	
1% NEW ENGLAND ASTER	
1% WHITE YARROW	

1. PROVIDE WINTER STABILIZATION IN LIEU OF PERMANENT SEEDING AFTER SEPTEMBER 1, IN LIEU OF SODDING AFTER NOVEMBER 15, AND FOR ALL WORK REQUIRING TEMPORARY STABILIZATION AFTER OCTOBER 15 AS FOLLOWS:

- #### D. STABILIZATION PERFORMANCE CRITERIA

1. PERMANENT STABILIZATION IS DEFINED AS FOLLOWS:
  2. SEEDED AREAS: FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF THE DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
  3. SODDED AREAS: FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
  4. NEWLY SEEDDED OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, EXCESSIVE PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF UNTIL THE VEGETATION IS WELL-ESTABLISHED WITH 90% COVER BY HEALTHY VEGETATION. IF NECESSARY, AREAS MUST BE REWORKED AND REESTABLISHED IF GERMINATION IS SPARSE, PLANT COVERAGE IS SPOTTY, OR TOPSOIL EROSION IS EVIDENT. PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
  5. RIPRAP: FOR AREAS STABILIZED WITH RIPRAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIPRAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIPRAP. STONE MUST BE SIZED APPROPRIATELY. IT IS RECOMMENDED THAT ANGULAR STONE BE USED.
  6. PAVED AREAS: FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED, PROVIDED IT IS FREE OF FINE MATERIALS THAT MAY RUNOFF WITH A RAIN EVENT.
  7. DITCHES, CHANNELS, AND SWALES: FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH A 90% COVER OF HEALTHY VEGETATION, WITH A WELL-GRADED RIPRAP LINING, TURF REINFORCEMENT MAT, OR WITH A WELL-GRADED EROSION-CONTROL LINING. PERMANENT STABILIZATION THERE MUST BE NO EVIDENCE OF SLUMPING OF THE CHANNEL LINING, UNDERCUTTING OF THE CHANNEL BANKS, OR DOWN-CUTTING OF THE CHANNEL.

### 1. AGGREGATE FOR GRAVEL BASE & SUBBASE

THE GRADATION OF THE PART THAT PASSES A 3 INCH SIEVE SHALL MEET THE GRADING REQUIREMENTS OF THE FOLLOWING TABLE:

TYPE A AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 2 INCH SQUARE MESH SIEVE.

TYPE B & C AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 4 INCH SQUARE MESH SIEVE.

TYPE D AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 6 INCH SQUARE MESH SIEVE.

EACH LAYER AS APPLIED SHALL BE ROLLED WITH A 20 TON ROLLER. THE MATERIAL AS SPREAD SHALL BE WELL MIXED WITH NO POCKETS OF EITHER FINE OR COARSE MATERIAL. OVERSIZED STONES SHALL BE REMOVED FROM THE AGGREGATE.

EACH LAYER OF AGGREGATE SHALL BE PLACED IN 12" MAX. LIFTS OVER THE FULL WIDTH OF THE SECTION. AGGREGATE BASE AND SUB-BASE COURSES MAY BE PLACED UPON FROZEN SURFACES WHEN SUCH SURFACES HAVE BEEN PROPERLY

THE SURFACE OF EACH LAYER SHALL BE MAINTAINED DURING COMPACTION OPERATIONS IN SUCH A MANNER THAT A UNIFORM TEXTURE IS PRODUCED AND THE AGGREGATE IS FIRMLY KEYED. THE MOISTURE CONTENT OF THE MATERIAL SHALL BE MAINTAINED AT THE PROPER PERCENTAGE TO ATTAIN THE REQUIRED COMPACTION AND STABILITY. COMPACTION OF EACH LAYER SHALL BE CONTINUED UNTIL DENSITY IS NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY" HAS BEEN ACHIEVED FOR THE FULL WIDTH AND DEPTH OF EACH LAYER AS APPLIED.

THE SURFACE TOLERANCE OF EACH BASE COURSE AS APPLIED SHALL BE 3/8 INCHES ABOVE OR BELOW THE REQUIRED TEMPLATE LINES.

COMMON BORROW SHALL CONSIST OF EARTH, SUITABLE FOR EMBANKMENT CONSTRUCTION. IT SHALL BE FREE FROM FROZEN MATERIAL, PERISHABLE RUBBISH, PEAT AND OTHER UNSUITABLE MATERIAL.

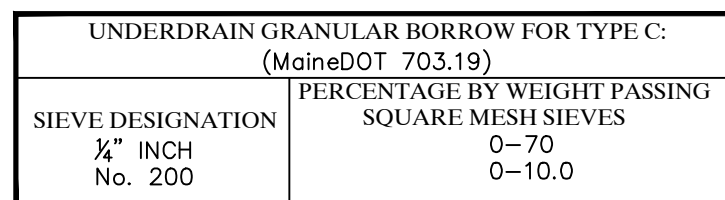
THE MOISTURE CONTENT SHALL BE SUFFICIENT TO PROVIDE THE REQUIRED COMPACTION AND STABLE EMBANKMENT. IN NO CASE SHALL THE MOISTURE CONTENT EXCEED 4 PERCENT ABOVE OPTIMUM.

STRUCTURAL BACKFILL CONFORMING TO MaineDOT 703.20 SHALL BE UTILIZED IN THE ABSENCE OF GEOTECHNICAL REPORT RECOMMENDATIONS FOR FILL BELOW AND ADJACENT TO FOUNDATIONS, FOOTINGS AND SLABS. PROVIDE DEWATERING AND PERMANENT DRAINS WHERE INDICATED. COMPACT ALL STRUCTURAL BACKFILL TO 95% MODIFIED PROCTOR DENSITY. PLACE STRUCTURAL BACKFILL IN LIFTS OF 10"-12" MAXIMUM DEPTH.

LOAM SHALL MEET THE FOLLOWING REQUIREMENTS:

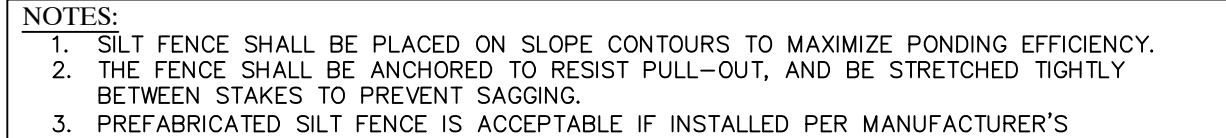
MINERAL CONTENT PERCENT PASSING SIEVE

THE LOAM SHALL BE SCREENED, LOOSE, FRIABLE, AND SHALL BE FREE FROM ADMIXTURE OF SUBSOIL, REFUSE, LARGE STONES, CLODS, ROOTS, OR OTHER UNDESIRABLE FOREIGN MATTER. IT SHALL BE REASONABLY FREE OF WEEDS, ROOTS, OR RHIZOMES.



UNDERDRAIN BACKFILL MATERIAL FOR TYPE C: (MaineDOT 703.22 TYPE C)	
SIEVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING SQUARE MESH SIEVES
1 INCH	100
3/4 INCH	90-100
3/8 INCH	0-75
No. 4	0-25
No. 10	0-5

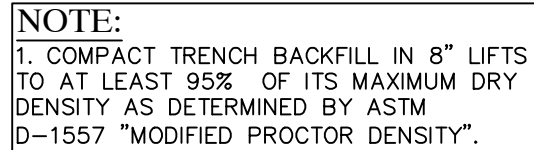
### TYPICAL TYPE C UNDERDRAIN TRENCH SECTION



1. SILT FENCE SHALL BE PLACED ON SLOPE CONDITIONS TO MAXIMIZE PROTECTION EFFICIENCY.
2. THE FENCE SHALL BE ANCHORED TO RESIST PULL-OUT, AND BE STRETCHED TIGHTLY BETWEEN STAKES TO PREVENT SAGGING.
3. PREFABRICATED SILT FENCE IS ACCEPTABLE IF INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
4. A 6" DEEP TRENCH SHALL BE EXCAVATED UPGRADIENT OF THE FENCE POSTS TO KEY THE FLAP OF FILTER FABRIC INTO THE GROUND. THE TRENCH SHALL BE BACKFILLED AND COMPACTED. IN AREAS WHERE THE FLAP OF FILTER FABRIC CAN NOT BE KEPT PROMPTLY (DUE TO UNSTABLE GROUND, ROCKY, STONY, SOIL, ROOTS, NEAR PROTECTED NATURAL RESOURCES, ETC.) THE SILT FENCE SHOULD BE ANCHORED WITH AGGREGATE, CRUSHED STONE, EROSION CONTROL MIX OR OTHER MATERIAL.
5. WHEN JOINTS ARE NECESSARY, FILTER FABRIC SHALL BE SPLICED BY WRAPPING END STAKES TOGETHER.
6. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
7. MAXIMUM SEDIMENT STORAGE HEIGHT IS 9".
8. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
9. SHOULD THE SILT FENCE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
10. DO NOT PLACE SILT FENCE IN STREAMS OR CONCENTRATED FLOW CONDITIONS.
11. REMOVE FENCE WHEN NO LONGER NEEDED FOR PROTECTION PURPOSE, BUT NOT BEFORE THE UP SLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

### SILT FENCE DETAIL

NO SCALE

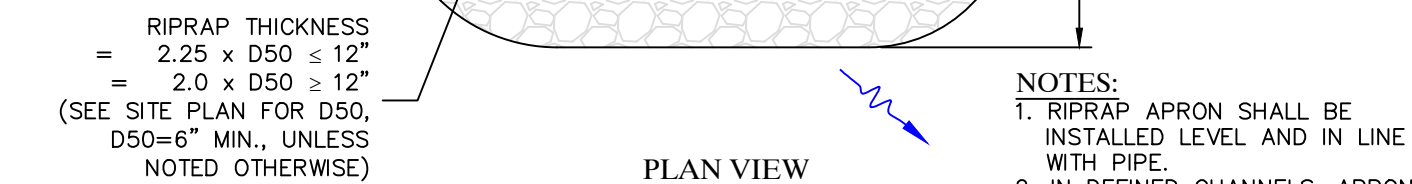


## STORMWATER TRENCH SECTION

NO SCALE



### SECTION VIEW



RIPRAP APRON

NO SCALE

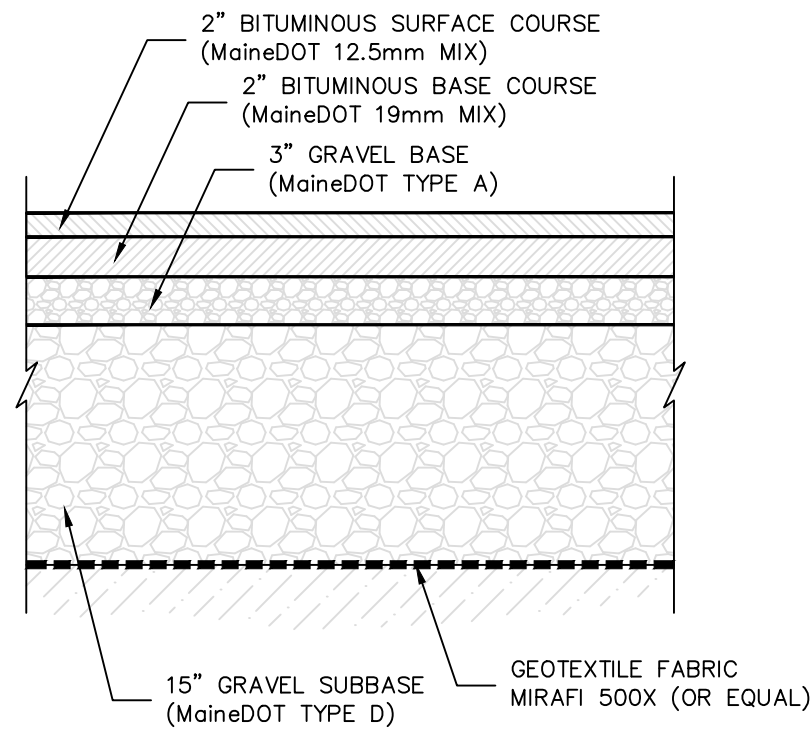
- NOTES:**
1. RIPRAP APRON SHALL BE INSTALLED LEVEL AND IN LINE WITH PIPE.
  2. IN DEFINED CHANNELS, APRON SHALL EXTEND FULL WIDTH OF BOTTOM AND ONE FOOT ABOVE MAX. TAILWATER OR UP TO BANK FULL, WHICHEVER IS LESS.

**FOR PERMIT PURPOSES ONLY**  
**NOT FOR CONSTRUCTION**

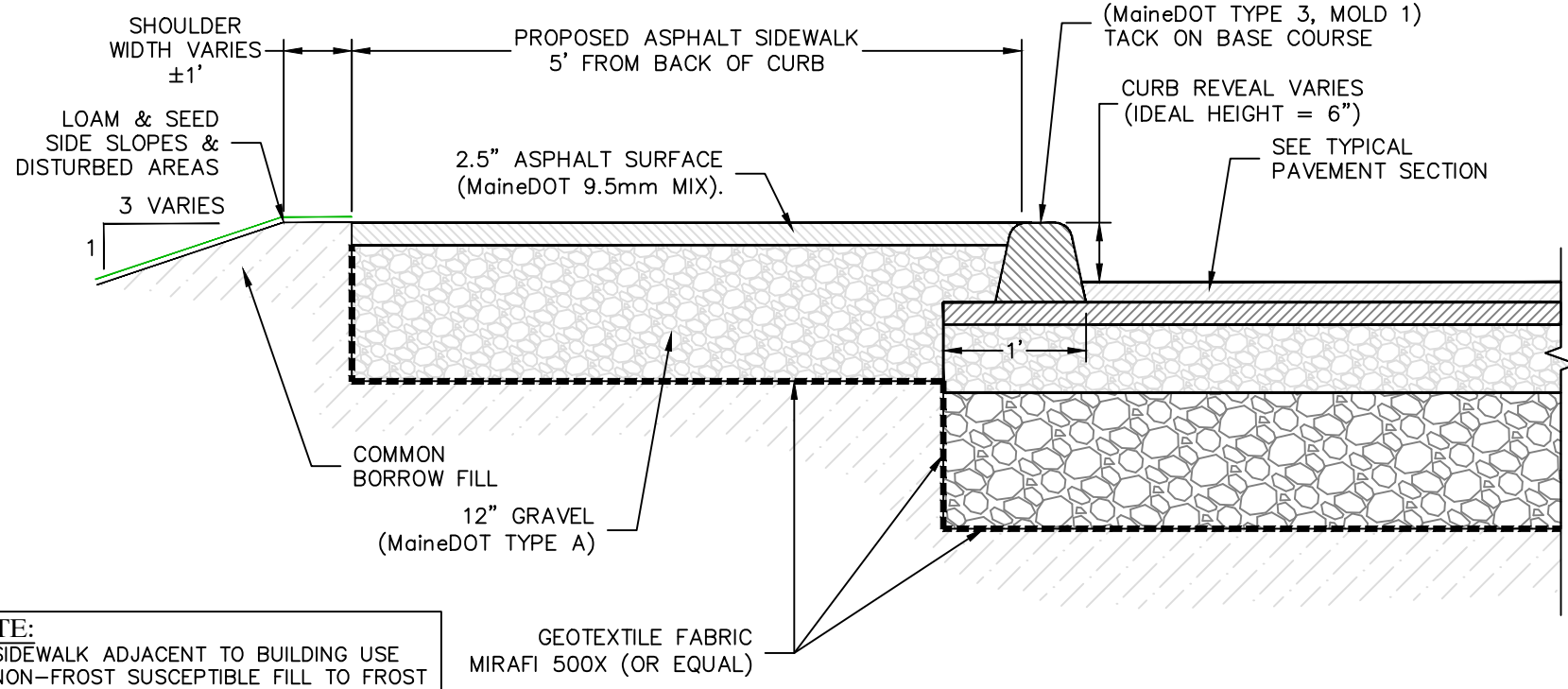






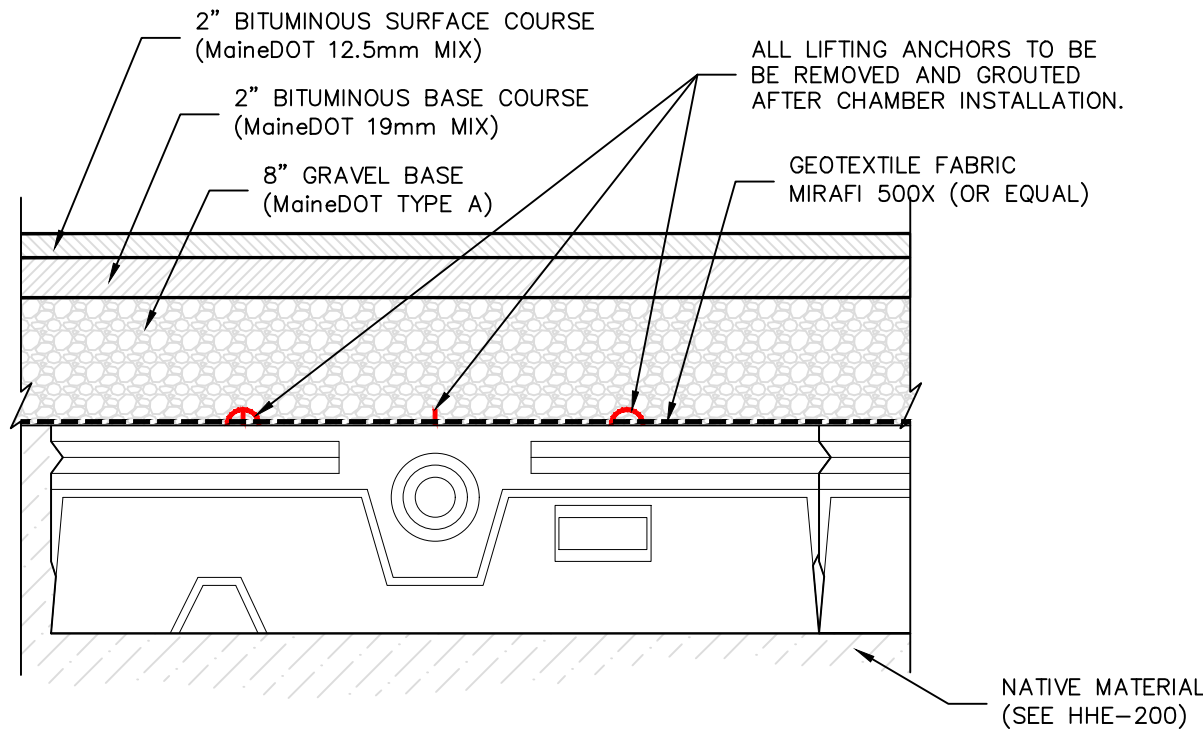


TYPICAL PAVEMENT SECTION  
NO SCALE

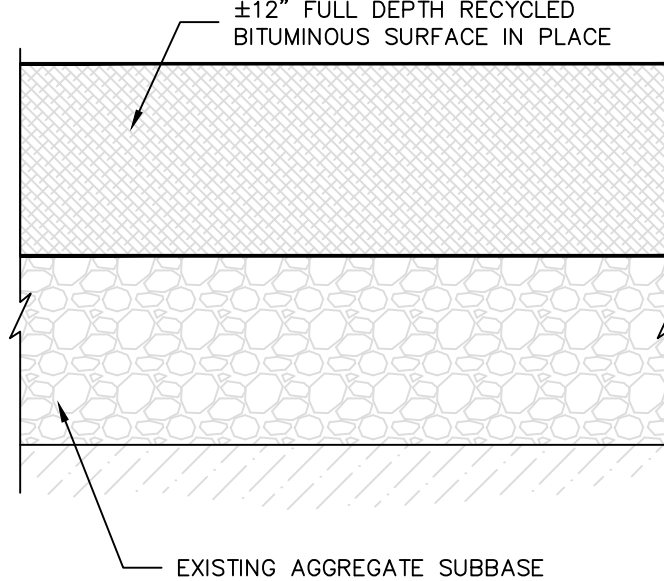


NOTE:  
SIDEWALK ADJACENT TO BUILDING USE  
NON-FROST SUSCEPTIBLE FILL TO FROST  
ELEVATION.

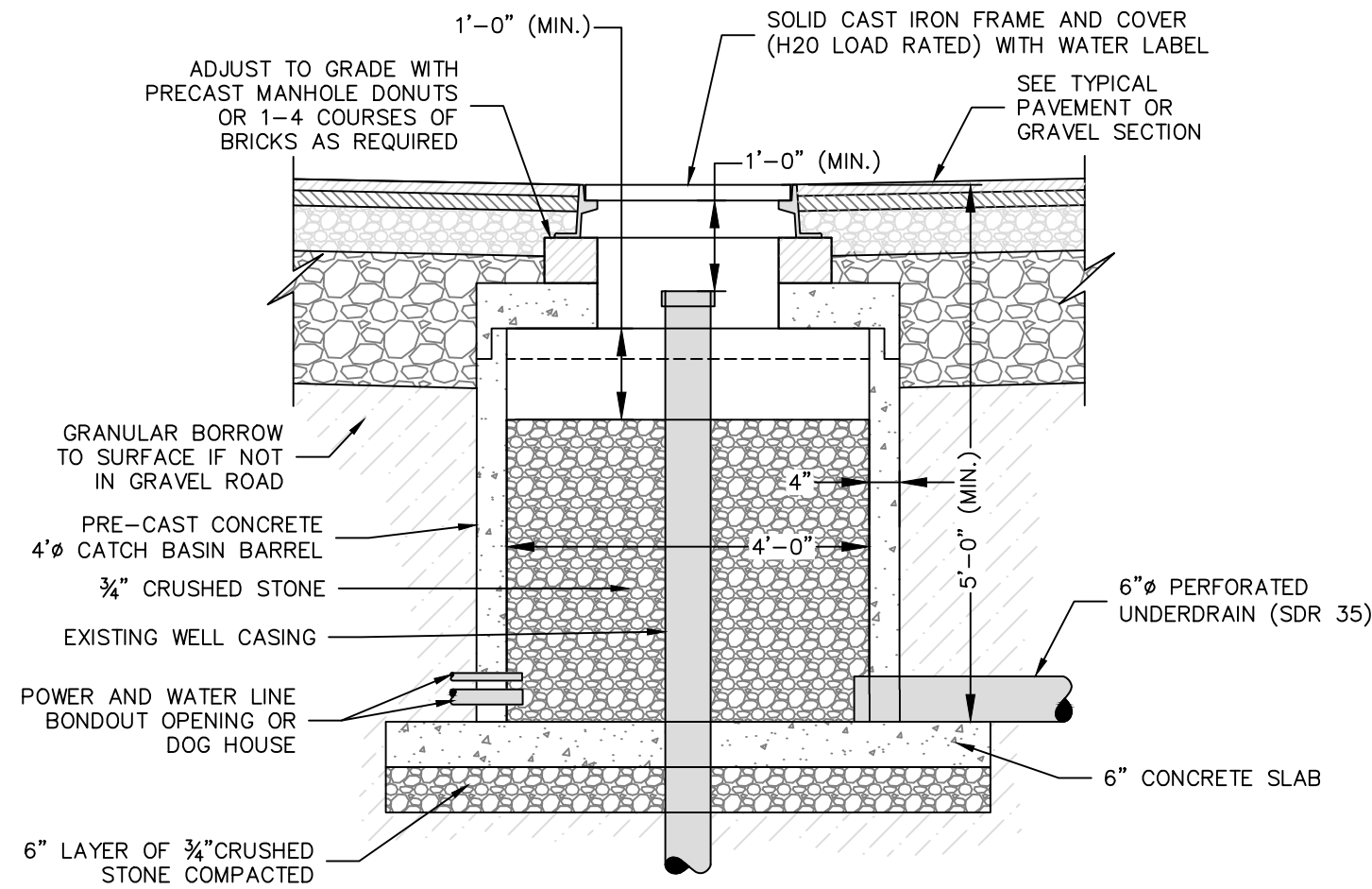
TYPICAL SIDEWALK SECTION  
NO SCALE



PAVEMENT SECTION OVER CONCRETE CHAMBERS  
NO SCALE

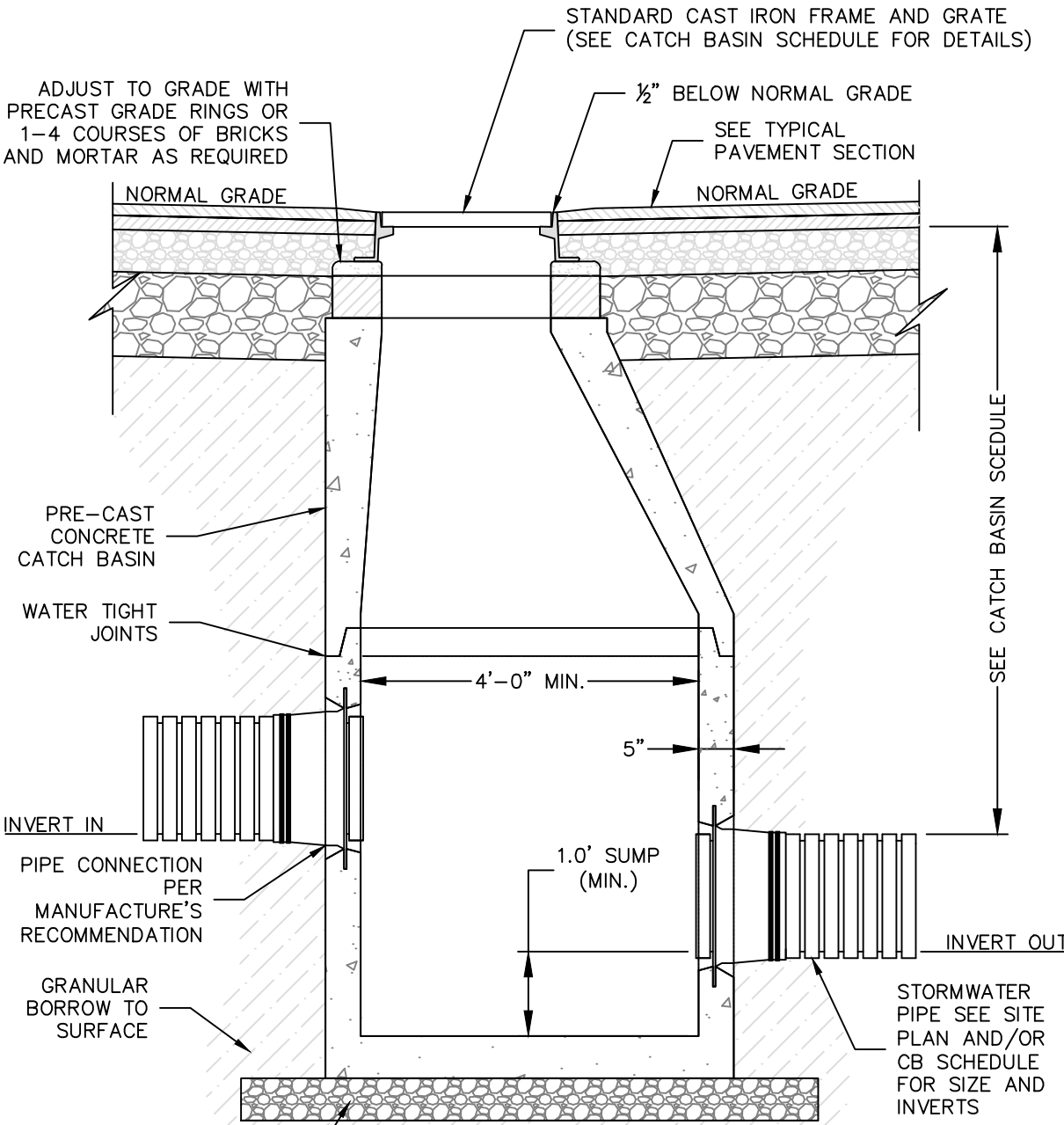


FULL DEPTH PAVEMENT  
RECYCLE SECTION  
NO SCALE

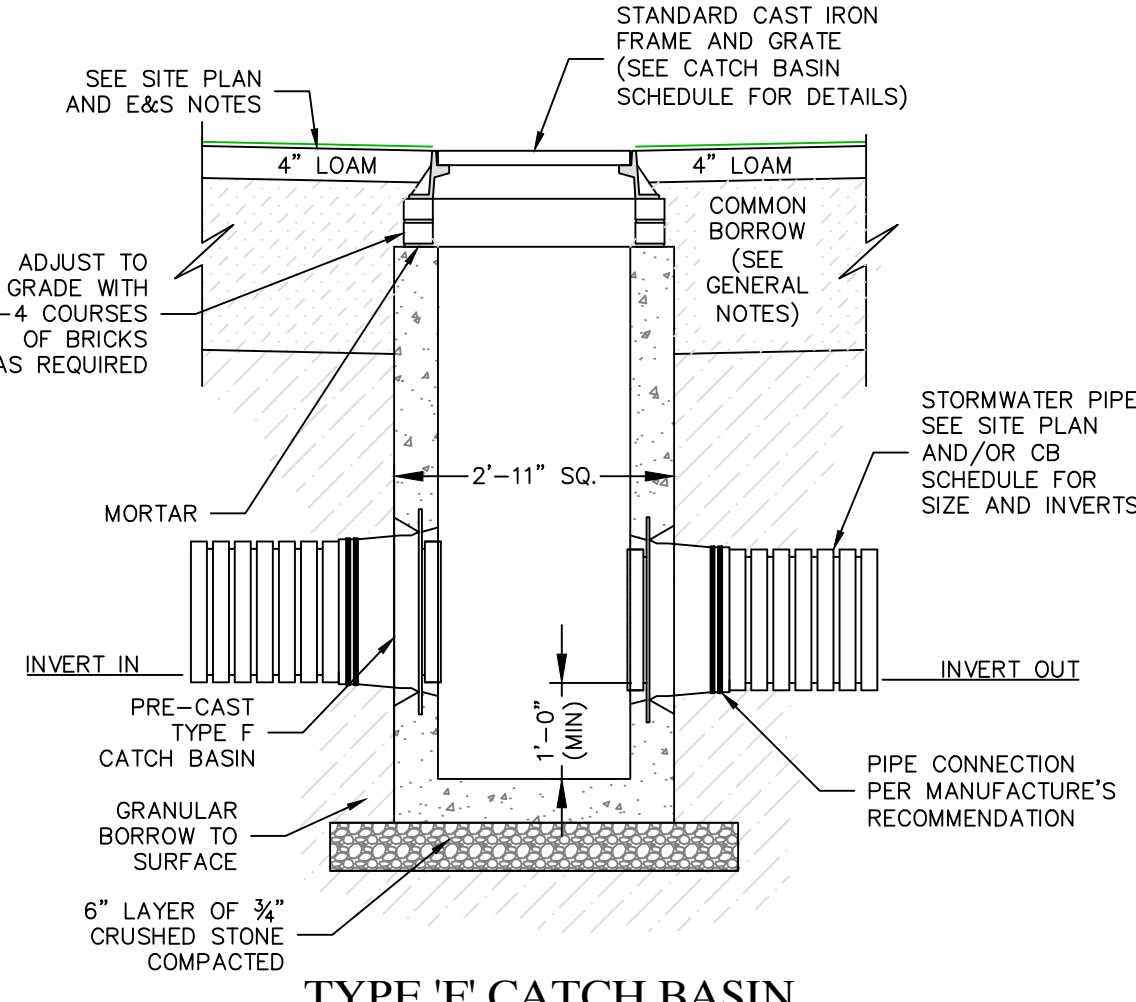


NOTES:  
1. POWER & WATER: FIELD CORE OR CONTRACTOR TO DETERMINE PRIOR TO CASTING.  
2. UNDERDRAIN: FIELD CORE OR CONTRACTOR TO DETERMINE PRIOR TO CASTING.

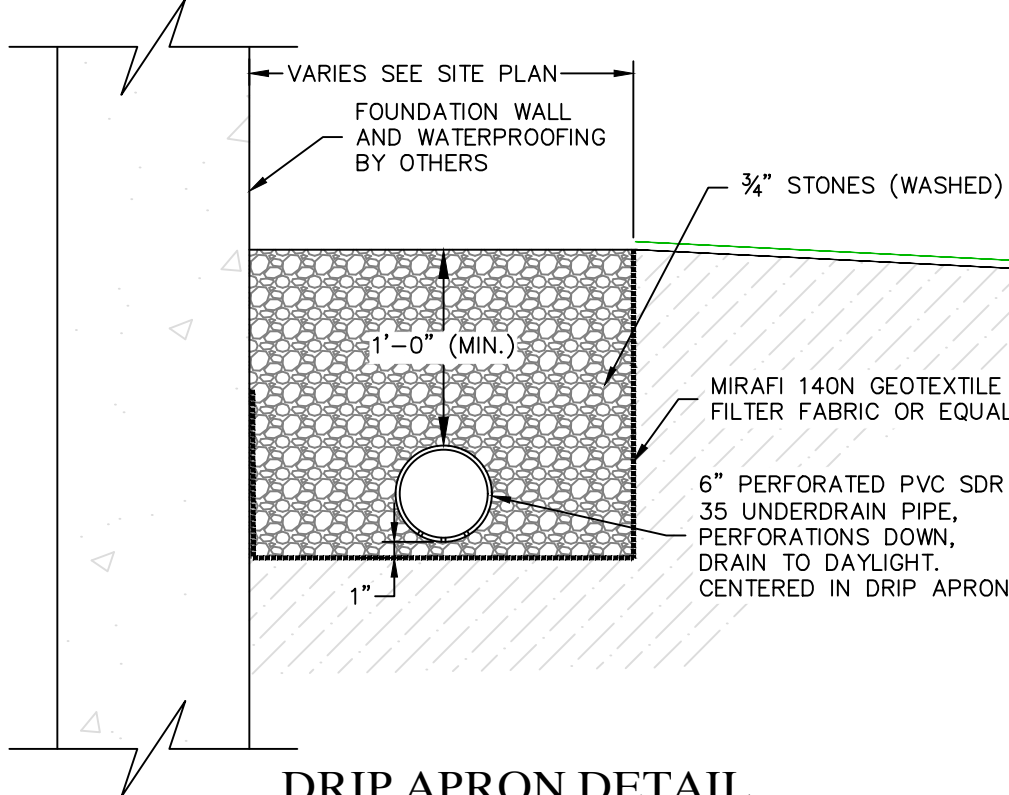
PRECAST WELL PROTECTION  
NO SCALE



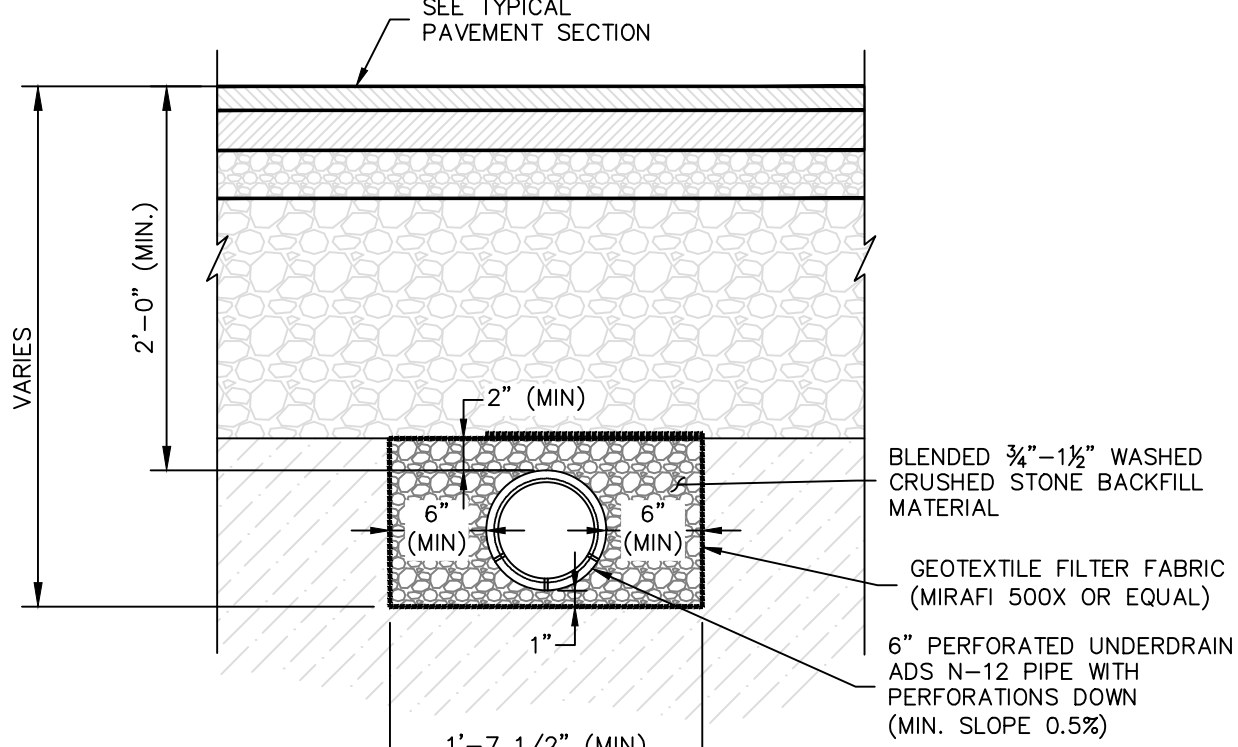
PRECAST CATCH BASIN  
NO SCALE



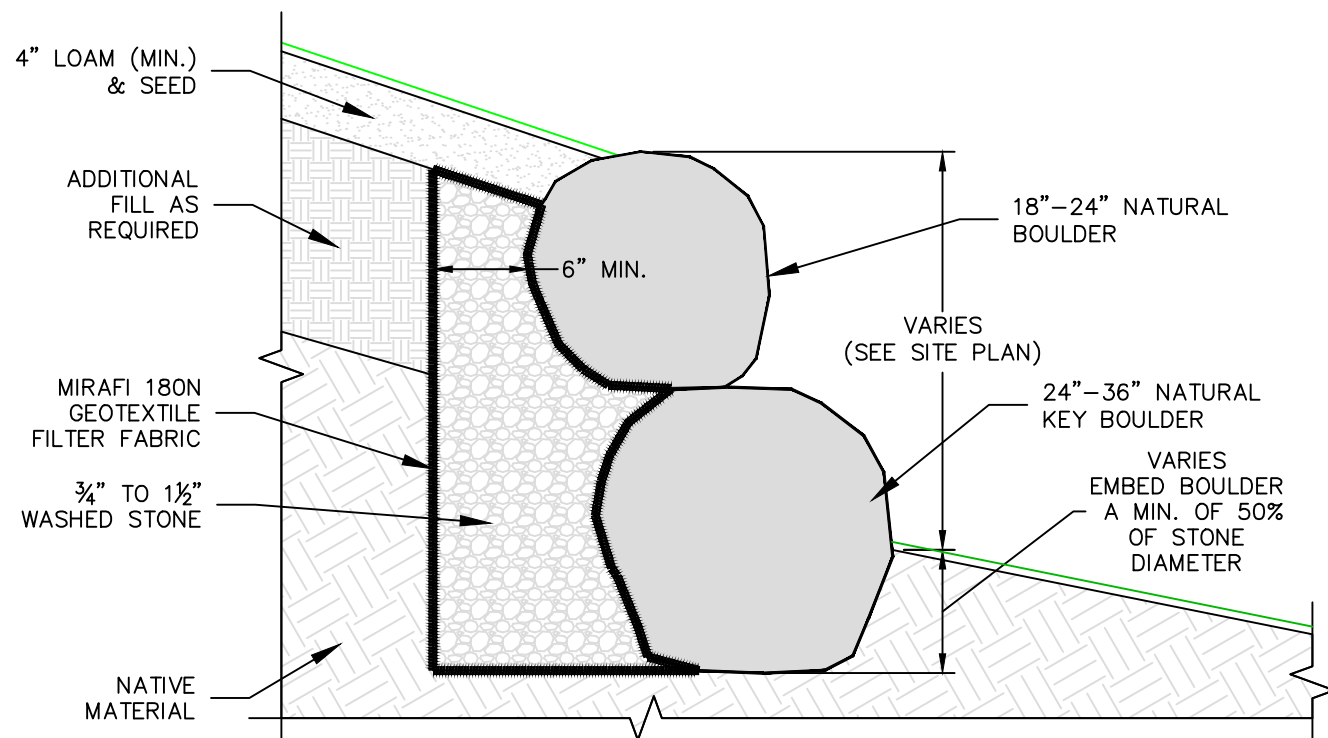
TYPE 'F' CATCH BASIN  
NO SCALE



DRIP APRON DETAIL  
NO SCALE



PARALLEL PARKING  
UNDERDRAIN TRENCH SECTION  
NO SCALE



BOULDER RETAINING WALL  
NO SCALE

SHEET TITLE:		CIVIL DETAILS		DATE: DECEMBER 20, 2024		NO.		REVISIONS		DATE	
CLIENT/PROJECT:		NORTHPORT TOWN OFFICE / FIRE STATION		SCALE: AS NOTED		DRAWN BY: LP		CHECKED BY: AH		DATE	
LOCATION:		16 BEECH HILL ROAD		TOWN: NORTHPORT		COUNTY: WALDO		STATE: MAINE		DATE	
Gartley & Dorsky ENGINEERING SURVEYING		50 Union Street, Unit 1, Camden, ME 04843 Ph. (207) 236-4365 • Fax (207) 236-3055 • Toll Free (888) 282-4365 165 Main Street, Suite 201, PO Box 1072, Danvers, ME 04843 Ph. (207) 790-5045		PROJ. NO. 2018-061		C4		FOR PERMIT PURPOSES ONLY NOT FOR CONSTRUCTION		DATE	





- ELEVATION GENERAL NOTES:
1. ALL EXTERIOR TRIM, SOFFIT & SIMILAR TO BE BORAL OR EQUAL. ALL JOINTS TO BE GLUED & FASTENED PER MFR. ALLOW EXPANSION & CONTRACTION JOINTS PER MFR. ALL FASTENERS TO BE RECESSED & PLUGGED. SITE PAINT PER MFR WITH 2 COATS / COLOR TBD.
  2. ALL PENETRATING FIXTURES (ELECTRICAL, HVAC & MISC) SHALL HAVE A PVC MOUNTING BLOCK W/ CAP FLASHING.
  3. INSTALLATION OF MATERIALS SHALL BE PER MFR RECOMMENDATIONS OR INDUSTRY STANDARDS.
  4. PROVIDE PRODUCT SUBMITTALS, COLOR OR PRODUCT SAMPLES TO OWNER / ARCH FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
  5. PROVIDE MOCKUP OF EXTERIOR TRIM DETAILS FOR REVIEW AND APPROVAL BY OWNER / ARCH.
  6. REFER TO EXTERIOR FINISH SCHEDULE ON SHEET A7.1.

**2A**  
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280 West Street, Suite B (Office)  
P.O. Box 189 (Mailing)  
Rockport, Maine 04856

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Registration: ■

LICENSED ARCHITECT  
AMANDA ROBERSON  
AUSTIN  
No. 3564  
STATE OF MAINE

Project: ■

**Northport  
Town Office / Fire Station**  
16 Beech Hill Road  
Northport, ME 04849

Client ■ Community

Consultant: ■

**Work In Progress**  
Not for Construction

Sheet Size:	24" x 36" Paper Size
Sheet Issue Date:	8/8/24
Consultant Review	8/8/24
Client Review	10/17/24
Design Development	11/15/24
Site Plan Review	12/17/24

Project Start Date: ■

Project Number: ■

**23-108**

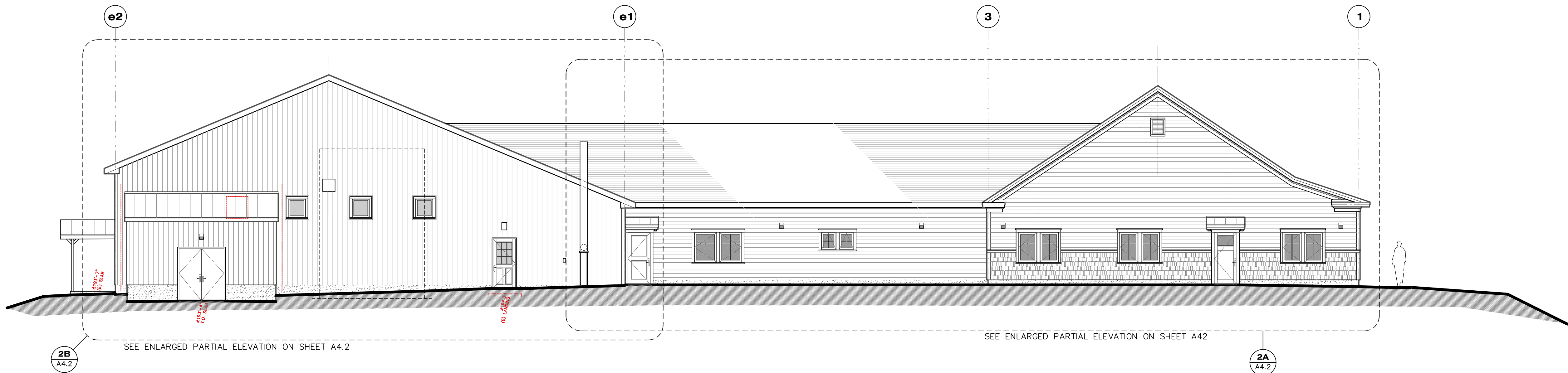
Sheet Title: ■

**OVERALL  
EXTERIOR  
ELEVATIONS**

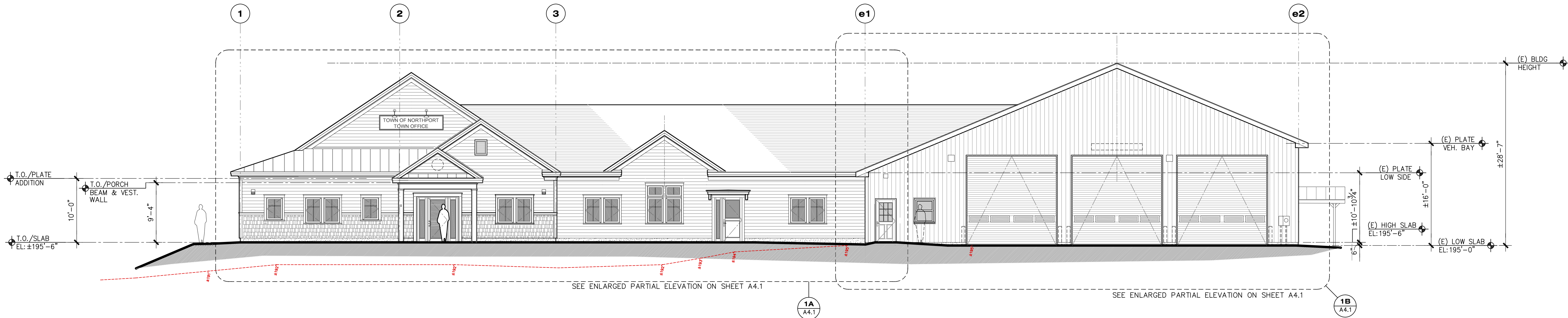
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12/17/2024 A4.0 Elevs\_Overall\_NTO.dwg

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**A4.0**

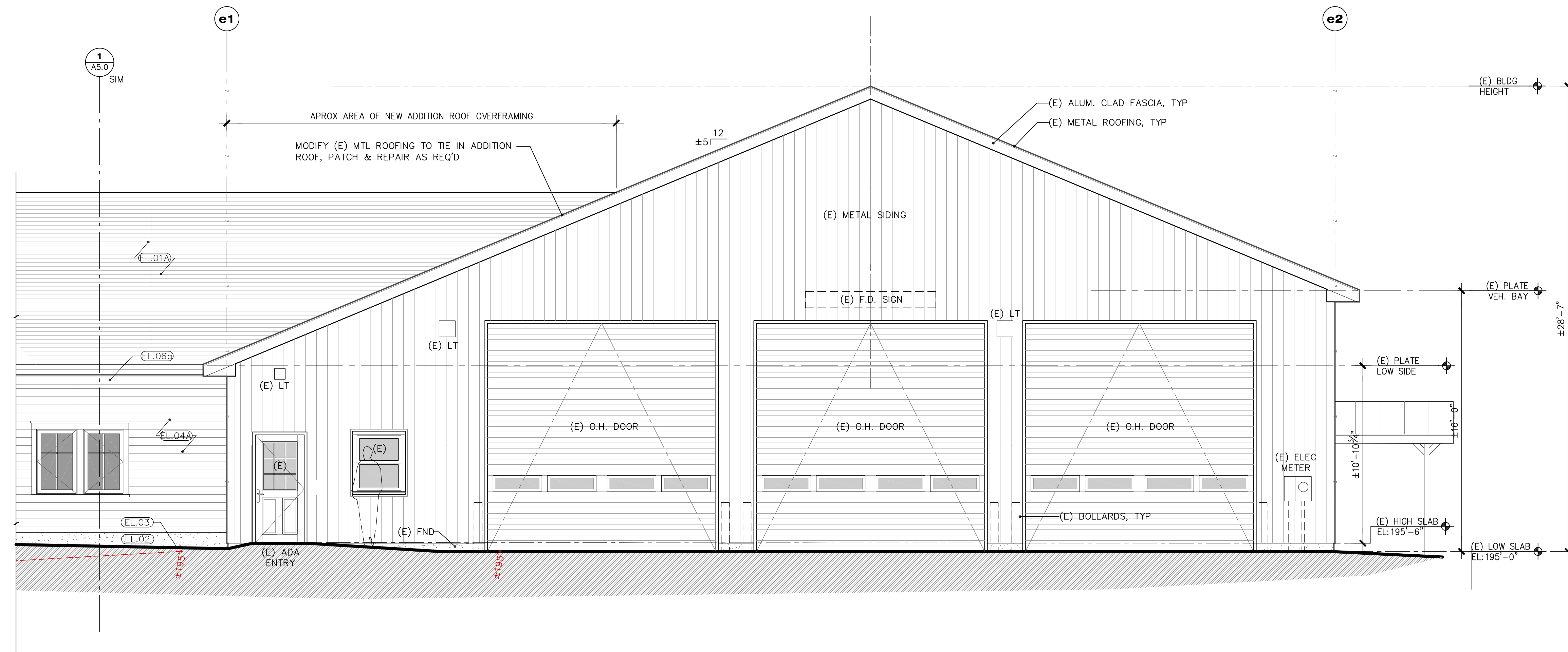


**2 Overall North (Rear) Elevation**  
SCALE: 1/8"=1'-0"



**1 Overall South (Entry / Street Side) Elevation**  
SCALE: 1/8"=1'-0"

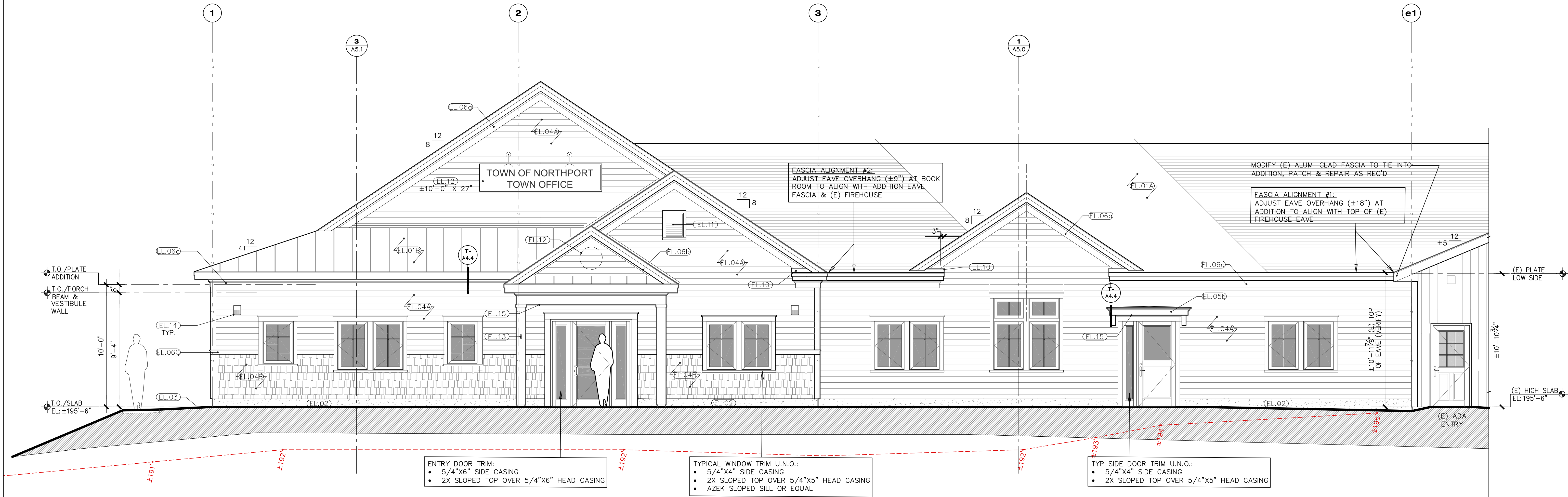




GENERAL ELEVATION NOTES:	
01. PROVIDE SAMPLES OF EXTERIOR MATERIALS AND FINISHES PRIOR TO ORDER OR INSTALL FOR REVIEW AND APPROVAL BY OWNER.	
02. PROVIDE FIELD MOCK-UP PAINT SAMPLES FOR REVIEW BY ARCHITECT.	
03. ALL PENETRATING WALL FIXTURES (ELECTRICAL, HVAC, PLUMBING & MISC) SHALL HAVE A PVC MOUNTING BLOCK W/ CAP FLASHING. (SEE DETAIL -/A8.0). REFER TO CONSULTANT DWGS FOR ALL LOCATIONS.	
04. COORD. GUTTERS AND DOWNSPOUTS WITH ROOF PLAN AND BIDDER-DESIGN.	
05. ALL EXTERIOR TRIM TO BE COMPOSITE; BASIS OF DESIGN MFR: BORAL OR EQUAL, PLUG ALL SCREWS, PREP & PAINT ALL TRIM PER MFR	
ELEVATION KEYNOTES:	
EL.01A	ARCHITECTURAL STYLE ASPHALT ROOFING
EL.01B	STANDING SEAM MTL ROOFING
EL.02	CONC FND WALL WITH PARGE COAT SYSTEM OVER RIGID INSUL, TYP.
EL.03	LINE OF FINISHED GRADE OR WALK PER CIVIL, TYP
EL.04A	COMPOSITE CLAPBOARD SIDING PER SCHEDULE ON A4.0
EL.04B	COMPOSITE WALL SHINGLE SIDING PER SCHEDULE ON A4.0
EL.05A	ROOF OVERHANG OVER DOOR WITH BRACKETS & MTL ROOF
EL.05B	ROOF OVERHANG OVER DOOR WITH BRACKETS & LOW SLOPED ROOF
EL.06A	BUILT UP CONTINUOUS FRIEZE TRIM: AZEK BED MOULD (AZM-75) OR SIM OVER 1X8, SHIM TO HAVE 1/2" PROUD OF CORNER TRIM
EL.06B	CONTINUOUS FRIEZE TRIM AT PORCH GABLE: AZEK BED MOULD (AZM-75) OR SIM, SHIM AS REQ'D FOR SIDING TERMINATION
EL.06C	CONTINUOUS TRANSITION TRIM: AZEK 5/4" SLOPED CAP OVER 5/4"x4"
EL.07	REMOVE (E) WDW; PATCH & REPAIR TO MATCH (E) MATERIALS
EL.08	REMOVE (E) SIDING & ASSOCIATED ITEMS AS REQ'D FOR ADDITION & FLASHING; PATCH & REPAIR TO MATCH (E)
EL.09	NEW MTL SIDING TO MATCH (E); SALVAGE (E) MTL SIDING REMOVED & REUSE IF POSSIBLE
EL.10	EAVE RETURN: EXTEND ROOF & FASCIA TRIM & RETURN TO WALL; EXTEND ±3" BEYOND FRIEZE TRIM BELOW SOFFIT
EL.11	18"x24" GABLE VENT WITH TRIM TO MATCH WINDOWS
EL.12	TOWN SIGNAGE TBD WITH APPROVED SHOP DWG, COORD SIGN LTS. SHOWN AS 24" DIAMETER.
EL.13	WALL MOUNT FLAG POLE HOLDER
EL.14	WALL MOUNTED LIGHT FIXTURE. DOWNLIGHT TYPE. TYPICAL OF 9 TOTAL LOCATIONS AROUND BUILDING.
EL.15	UNDER CANOPY LIGHTING (RECESSED FIXTURE) PER ELECTRICAL DWGS.

**1b** Partial Enlarged South (Entry / Street Side) Elevation: East (Fire Department) Wing

SCALE: 1/4"=1'-0"



**1a** Partial Enlarged South (Entry / Street Side) Elevation: West (Addition) Wing

SCALE: 1/4"=1'-0"

2A

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Consultant: ■

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16 Beech Hill Road  
Northport, ME 04849

Client ■ Community

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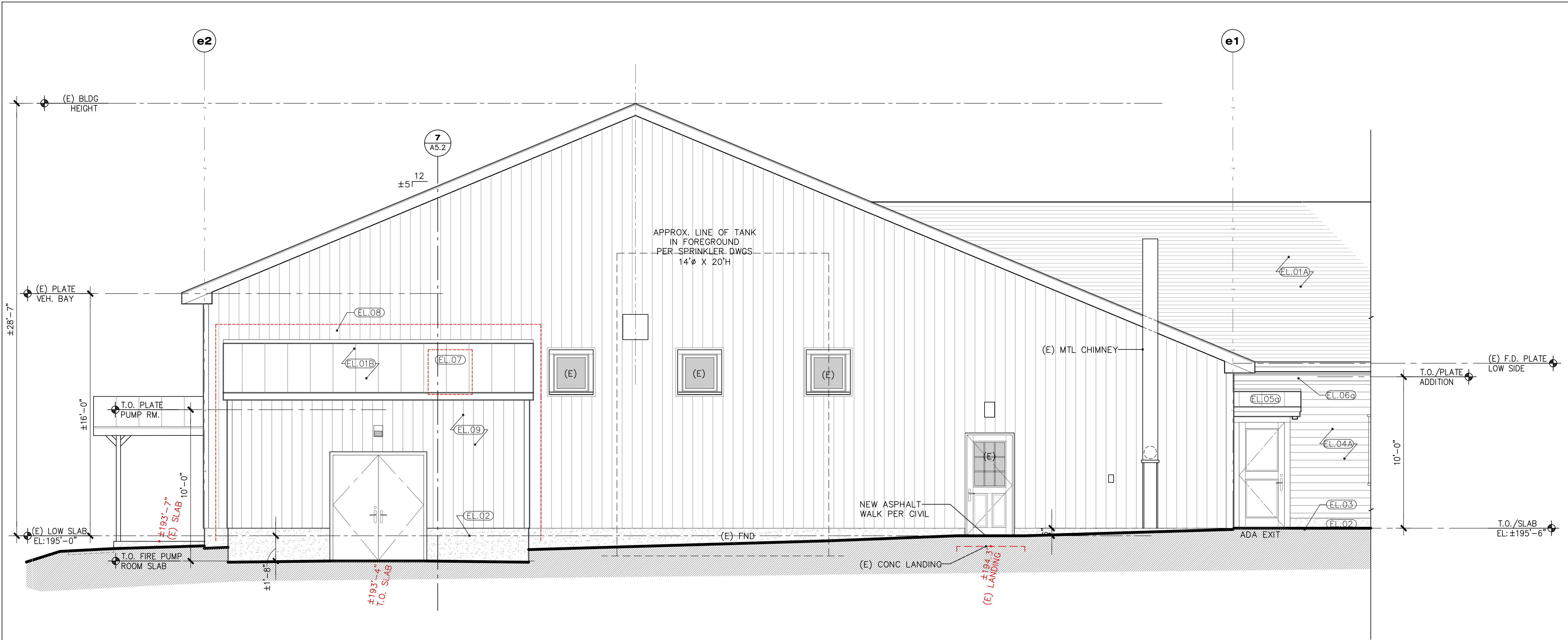
Design Development 11/15/24

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ENLARGED (SOUTH)  
EXTERIOR  
ELEVATIONS

A4.1

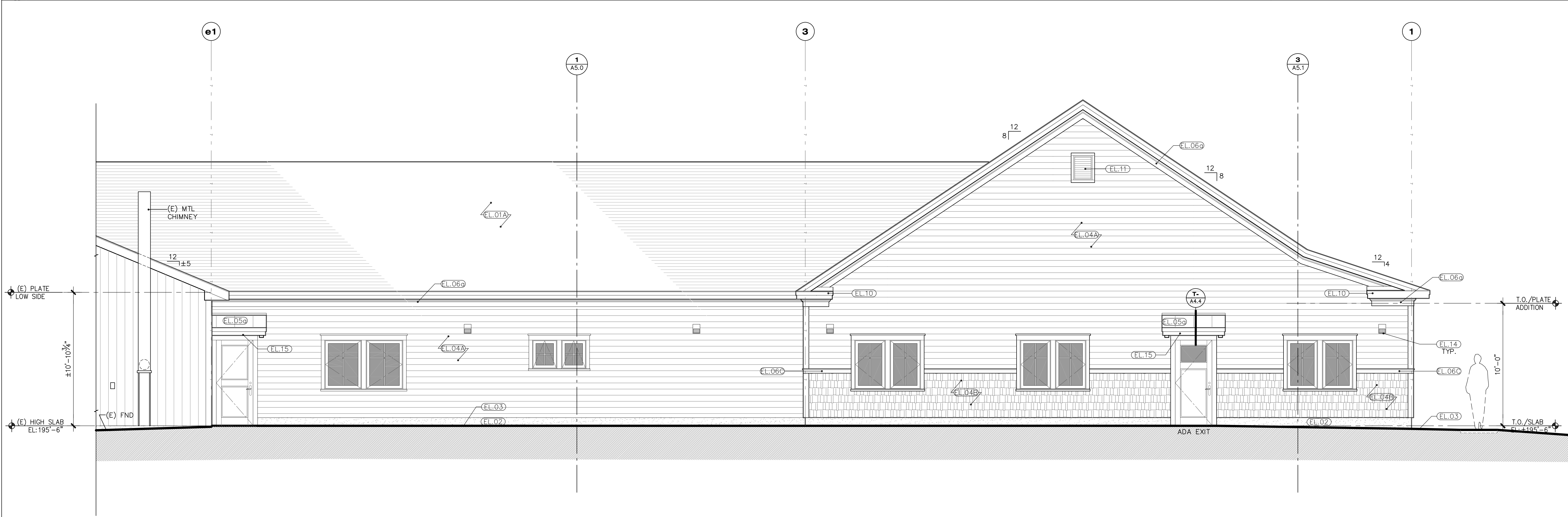




GENERAL ELEVATION NOTES:	
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04. COORD. GUTTERS AND DOWNSPOUTS WITH ROOF PLAN AND BIDDER-DESIGN.	
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ELEVATION KEYNOTES:	
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EL.01B	STANDING SEAM MTL ROOFING
EL.02	CONC FND WALL WITH PARGE COAT SYSTEM OVER RIGID INSUL, TYP.
EL.03	LINE OF FINISHED GRADE OR WALK PER CIVIL, TYP
EL.04A	COMPOSITE CLAPBOARD SIDING PER SCHEDULE ON A4.0
EL.04B	COMPOSITE WALL SHINGLE SIDING PER SCHEDULE ON A4.0
EL.05A	ROOF OVERHANG OVER DOOR WITH BRACKETS & MTL ROOF
EL.05B	ROOF OVERHANG OVER DOOR WITH BRACKETS & LOW SLOPED ROOF
EL.06A	BUILT UP CONTINUOUS FRIEZE TRIM: AZEK BED MOULD (AZM-75) OR SIM OVER 1X8, SHIM TO HAVE 1/2" PROUD OF CORNER TRIM
EL.06B	CONTINUOUS FRIEZE TRIM AT PORCH GABLE: AZEK BED MOULD (AZM-75) OR SIM, SHIM AS REQ'D FOR SIDING TERMINATION
EL.06C	CONTINUOUS TRANSITION TRIM: AZEK 5/4" SLOPED CAP OVER 5/4"x4"
EL.07	REMOVE (E) WDW: PATCH & REPAIR TO MATCH (E) MATERIALS
EL.08	REMOVE (E) SIDING & ASSOCIATED ITEMS AS REQ'D FOR ADDITION & FLASHING; PATCH & REPAIR TO MATCH (E)
EL.09	NEW MTL SIDING TO MATCH (E); SALVAGE (E) MTL SIDING REMOVED & REUSE IF POSSIBLE
EL.10	EAVE RETURN: EXTEND ROOF & FASCIA TRIM & RETURN TO WALL; EXTEND ±3" BEYOND FRIEZE TRIM BELOW SOFFIT
EL.11	18"x24" GABLE VENT WITH TRIM TO MATCH WINDOWS
EL.12	TOWN SIGNAGE TBD WITH APPROVED SHOP DWG, COORD SIGN LTS. SHOWN AS 24" DIAMETER.
EL.13	WALL MOUNT FLAG POLE HOLDER
EL.14	WALL MOUNTED LIGHT FIXTURE. DOWNLIGHT TYPE. TYPICAL OF 9 TOTAL LOCATIONS AROUND BUILDING.
EL.15	UNDER CANOPY LIGHTING (RECESSED FIXTURE) PER ELECTRICAL DWGS.

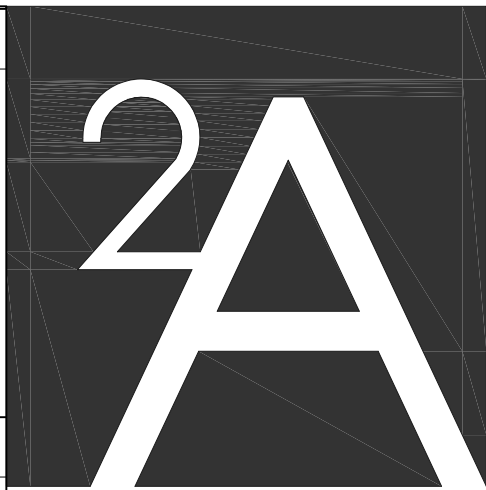
**2b** Partial Enlarged North (Rear) Elevation: East (Fire Department) Wing

SCALE: 1/4"=1'-0"



**2a** Partial Enlarged North (Rear) Elevation: West (Addition) Wing

SCALE: 1/4"=1'-0"



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P.O. Box 189 (Mailing)  
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Consultant: ■

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Design Development 12/17/24  
Site Plan Review

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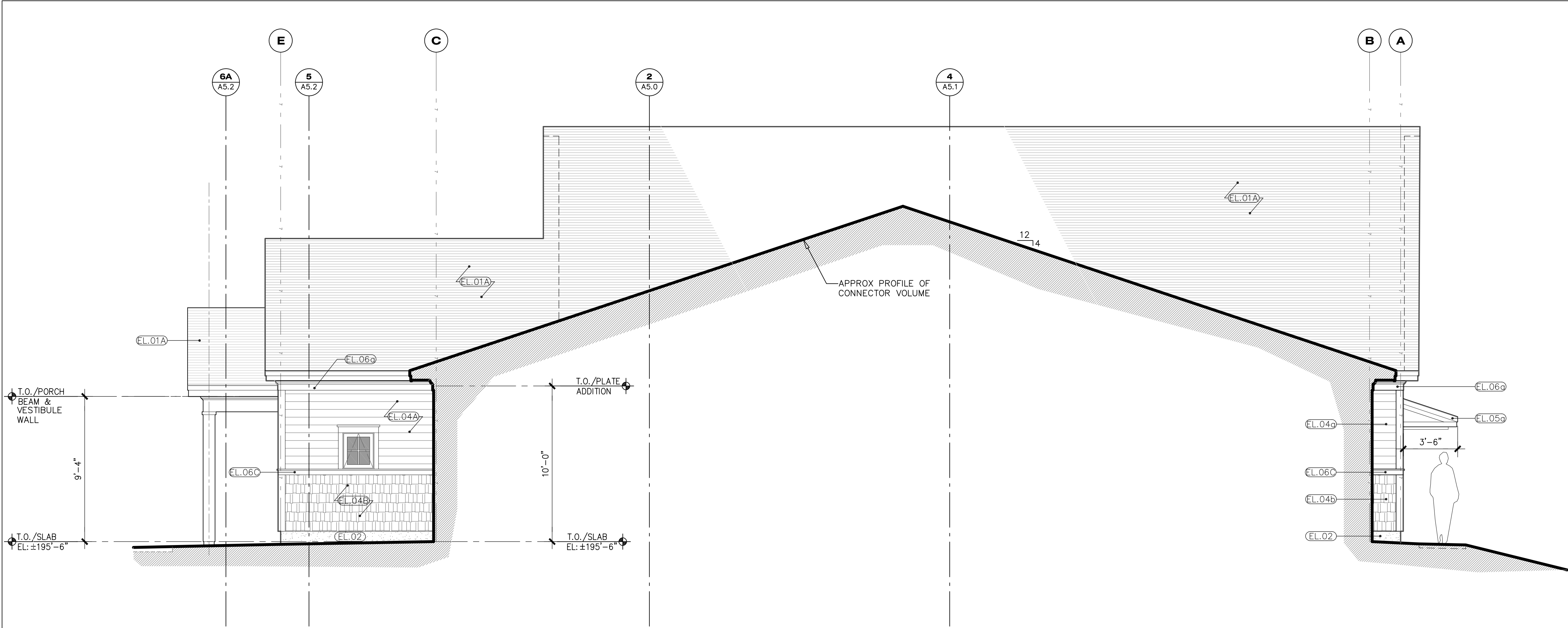
**ENLARGED (NORTH)**  
**EXTERIOR**  
**ELEVATIONS**

Sheet Plot Date: 12/17/2024 A4.1\_Elevs\_NTO.dwg

Sheet Number: ■

**A4.2**

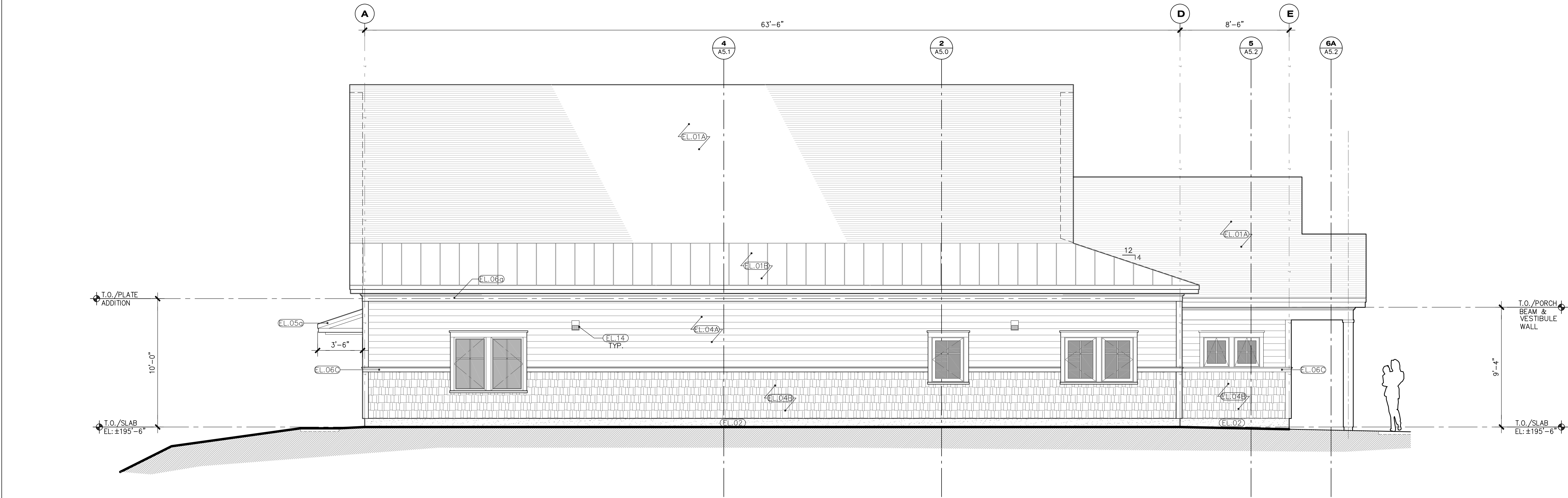




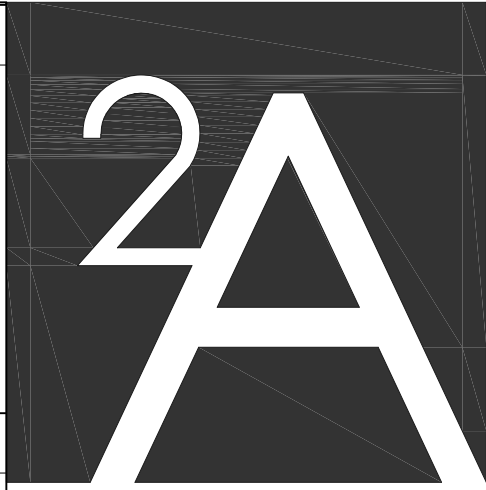
4 East (Side) Elevation  
SCALE: 1/4"=1'-0"

- GENERAL ELEVATION NOTES:**
01. PROVIDE SAMPLES OF EXTERIOR MATERIALS AND FINISHES PRIOR TO ORDER OR INSTALL FOR REVIEW AND APPROVAL BY OWNER.
  02. PROVIDE FIELD MOCK-UP PAINT SAMPLES FOR REVIEW BY ARCHITECT.
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  04. COORD. GUTTERS AND DOWNSPOUTS WITH ROOF PLAN AND BIDDER-DESIGN.
  05. ALL EXTERIOR TRIM TO BE COMPOSITE; BASIS OF DESIGN MFR: BORAL OR EQUAL, PLUG ALL SCREWS, PREP & PAINT ALL TRIM PER MFR

- ELEVATION KEYNOTES:**
- EL.01A ARCHITECTURAL STYLE ASPHALT ROOFING
  - EL.01B STANDING SEAM MTL ROOFING
  - EL.02 CONC FND WALL WITH PARGE COAT SYSTEM OVER RIGID INSUL, TYP.
  - EL.03 LINE OF FINISHED GRADE OR WALK PER CIVIL, TYP
  - EL.04A COMPOSITE CLAPBOARD SIDING PER SCHEDULE ON A4.0
  - EL.04B COMPOSITE WALL SHINGLE SIDING PER SCHEDULE ON A4.0
  - EL.05B ROOF OVERHANG OVER DOOR WITH BRACKETS & MTL ROOF
  - EL.06C ROOF OVERHANG OVER DOOR WITH BRACKETS & LOW SLOPED ROOF
  - EL.06D BUILT UP CONTINUOUS FRIEZE TRIM: AZEK BED MOULD (AZM-75) OR SIM OVER 1X8, SHIM TO HAVE 1/2" PROUD OF CORNER TRIM
  - EL.06E CONTINUOUS FRIEZE TRIM AT PORCH GABLE: AZEK BED MOULD (AZM-75) OR SIM, SHIM AS REQ'D FOR SIDING TERMINATION
  - EL.06F CONTINUOUS TRANSITION TRIM: AZEK 5/4" SLOPED CAP OVER 5/4"x4"
  - EL.07 REMOVE (E) WDW; PATCH & REPAIR TO MATCH (E) MATERIALS
  - EL.08 REMOVE (E) SIDING & ASSOCIATED ITEMS AS REQ'D FOR ADDITION & FLASHING; PATCH & REPAIR TO MATCH (E)
  - EL.09 NEW MTL SIDING TO MATCH (E); SALVAGE (E) MTL SIDING REMOVED & REUSE IF POSSIBLE
  - EL.10 EAVE RETURN: EXTEND ROOF & FASCIA TRIM & RETURN TO WALL; EXTEND ±3" BEYOND FRIEZE TRIM BELOW SOFFIT
  - EL.11 18"x24" GABLE VENT WITH TRIM TO MATCH WINDOWS
  - EL.12 TOWN SIGNAGE TBD WITH APPROVED SHOP DWG, COORD SIGN LTS. SHOWN AS 24" DIAMETER.
  - EL.13 WALL MOUNT FLAG POLE HOLDER
  - EL.14 WALL MOUNTED LIGHT FIXTURE. DOWNLIGHT TYPE. TYPICAL OF 9 TOTAL LOCATIONS AROUND BUILDING.
  - EL.15 UNDER CANOPY LIGHTING (RECESSED FIXTURE) PER ELECTRICAL DWGS.



3 West (Side) Elevation  
SCALE: 1/4"=1'-0"



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**23-108**

Sheet Title: ■

**EXTERIOR  
ELEVATIONS**

Sheet Plot Date:  
12/17/2024 A4.1\_Elevs\_NTO.dwg

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**A4.3**